

FINAL REPORT

HERITAGE RESEARCH STUDY FOR A
FUTURE DEVELOPMENT AREA

for



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Executive Summary

Introduction

This Heritage Research Study for a Future Development Area (“HRS”) has been commissioned by the Urban Redevelopment Authority of Singapore. It relates to the site of the former Bukit Timah Racecourse located on the north side of Bukit Timah Road a little to the south of the Central Nature Reserve. In summary, the HRS comprises an inspection and recording of the extant buildings and site features and preliminary assessment of condition; a review and summary of readily available archival materials; an evaluation of the heritage significance of the site; a review of the proposed redevelopment plan and the heritage impact that arises from it (heritage impact assessment (“HIA”); and an interpretation plan.

Description of the Former Bukit Timah Racecourse Site

The site was used as a horse racing venue until its closure in 1999. Since 2000 it has been operating in a mixed-use format including a retail shopping mall (located in the former North and South Grandstands) and the Bukit Timah Saddle Club (a riding club), which continue to operate to this day.

The site comprises 98 hectares and contains numerous buildings ranging from major public buildings, principally the North and South Grandstands, to modest workers’ quarters, all set in a lush green landscape of mature trees, grassland and topographical features, with distant views north toward the Central Catchment Nature Reserve.

The general condition is good, the degree of wear and tear consistent with the age and form of the buildings.

Heritage Value

The heritage value¹ of the site is high. The former Bukit Timah Racecourse operated as a commercial racecourse from 1933 to 1999. It built on the development of the former racecourse at Farrer Park and it proved a commercial and philanthropic success. It was one of many racecourses in South-East Asia founded by expatriates but was soon used by locals from a variety of backgrounds, which was enhanced by the switch in 1960 from being a private members’ club to a sporting venue open to the general public. Bukit Timah owes its success to this change.

¹ Heritage value – a measure of the importance of a heritage asset, typically expressed in terms of its historical, aesthetic and social significance.

Horse racing in Singapore is closely intertwined with the Singapore Turf Club (“STC”) and the Bukit Timah Racecourse. The founding members of the Singapore Sporting Club (the forerunner of the STC) – William Henry Macleod Read and the STC’s first chairman - Tan Sri Runme Shaw – were respectively the same people who founded the first racecourse in Singapore at Farrar Park and later developed the Bukit Timah Racecourse. In later years the STC became an agent of the Singapore Totalisator Board (“tote board”), which regulated horse betting. It is therefore fair to say that the development of horse racing in Singapore and the history of STC are synonymous.

The STC and the Bukit Timah Racecourse are, however, mutually distinctive. Whilst STC was instrumental in establishing, and for many years responsible for, running horse racing, the Bukit Timah Racecourse was, and remains, the tangible evidence of it. The racecourse and all that comprises it – the buildings and the spaces between them, the landscape, and outward views from the grandstands – embody a strong sense of place that recalls the experience of ordinary people when they visited, including the anticipation and thrill of the race; the serenity of distant views; the grandeur of the major buildings, and the crisply presented landscape.

Overall, the site played a significant part in the life of Singapore at a time when the country had quite recently become independent. The North Grandstand in particular embodied an enterprising spirit that was outward-looking and ambitious for the future. This building represents both the high point of horse racing in terms of the capacity that it provided and the self-confidence of an architectural style that was internationalist rather than colonial.

The site also has intangible heritage value. Beyond the association with STC, the site’s value to society is in its representation of the people associated with its growth, development and day-to-day operation. Considerations have also been given to site’s recent history from 1999 onwards, during the value assessment process.

Heritage Impact and Assessment

The commissioning of this HRS is a significant step toward realising intentions to redevelop Bukit Timah Racecourse. There are inevitably some consequences. When Bukit Timah was in its heyday it presented itself as “..up-to-world standard..” and along the way it acquired a distinction that was manifest in some of its buildings, its landscape and setting. The demise of horse racing at Bukit Timah following its relocation to Kranji, inevitably meant that the site’s principal heritage value – its association with horse racing – was lost. It is also inevitable that the redevelopment of the site, for residential use, will diminish the site’s heritage value still further.

The site's principal source of heritage value lies in its association with horse racing as noted above. Therefore, the baseline for assessment of the site is as a horse racing venue. However, since the transfer of racing to Kranji in 1999, the site's last tenanted use is an interim circumstance that is both partial (The site generally is substantially under-used) and without distinction. Therefore, any considerations for future plans within the site should be sustainable, and this should be reflected in the mitigation and interpretation strategy. The Heritage Impact Assessment at section 9.9 has been developed on this basis.

This HRS therefore considers the scope for mitigation of negative impacts and the opportunities for enhancing the new development. It concludes that effective mitigation can be applied in two forms – firstly, to retain selected buildings that are deemed the most significant and to find sustainable new uses for them; and secondly, to interpret the heritage value of the site more generally. The intended outcome of this is to retain that which is considered valuable yet capable of change, whilst creating new buildings and spaces that acknowledge and draw on the significance of the place. By these means, a new asset is intended that seeks to achieve optimum use of land for the future that takes inspiration from the past.

Conclusion

This HRS concludes that the proposed redevelopment of the former Bukit Timah Racecourse is capable of retaining sufficient heritage value that would tell the story of horse racing at Bukit Timah and more generally in Singapore. There will be negative impacts, some of which will be substantial, but selected retention of extant buildings including the North Grandstand, the former Secretaries' Bungalows and the racetrack, are sufficient to convey tangibly the principal characteristics of the former racecourse. The conservation guidelines outlined in Chapter 8, together with the interpretation plan in the same chapter, provides a range of ideas that will assist in mitigating the impacts of the proposed works and sets a series of guidelines that can be referenced in any emerging redevelopment proposals for the site. The overarching intention is to provide future residents and visitors alike with the opportunity to know more of Bukit Timah Racecourse's history and to appreciate the special nature of this place by virtue of conserving the heritage elements of value and improving accessibility to it.

Recommendations

In addition to the further measures set out in this HRS as required by the Brief, it is recommended that a Conservation Management Plan (CMP) is commissioned. A CMP is typically an authoritative record of the heritage value of a place because it follows in-depth research across a wide range of archival sources. Among other things, a CMP would provide a policy framework that would provide a useful basis for informing the design development and assist any future public engagement measures. Its principal purpose is to facilitate change, which sometimes can be radical in its nature and/or extent, in a manner that is sensitive to the heritage value of a place. As such it can be a valuable tool when considering a change of use of culturally significant sites.

1.0 Introduction

1.1 Background

The Singapore Turf Club was established in 1842, which was then known as the Singapore Sporting Club. The facility was first located at Farrer Park before it moved to Bukit Timah in 1933 to cater to a growing interest in horse racing. Operations and racing continued through World War I, during which the Club raised money for war funds. In 1924, the Singapore Sporting Club changed its name to the Singapore Turf Club, in order to clearly address its function as a horse racing facility.

The relatively smaller facility in Farrer Park proved inadequate to cater to the rising interest in horse racing. Therefore, the facility was moved to Bukit Timah along with a more expansive grandstand, which was able to host a greater audience. The Bukit Timah Racecourse was completed in 1933 and regarded as one of the centres of horse racing in the East.

During World War II, however, operations came to a halt and eventually resumed in 1947. After the war, the facility in Bukit Timah gradually improved according to the rising expansion of the horse racing industry. In 1961, cross-betting across three turf clubs in Malaya started, and a second grandstand was introduced in the facility, which could cater to more than 50,000 people.

As a notable centre of horse racing, the facility was visited by Queen Elizabeth II, the Duke of Edinburgh and Princess Anne on Feb 20, 1972, during their state visit to Singapore. The Queen Elizabeth II Cup was eventually established in honour of her visit, and is still commemorated today. In 1988, the Singapore government formed the Tote Board to oversee the operations and income of the Turf Club. Over the years, the Turf Club and later the Tote Board has given out more than a billion dollars in grants from the surpluses of the Turf Club to public and charitable causes.

Across the years, as interest in horse racing grew locally and abroad, problems with the facility in Bukit Timah started to emerge. These included traffic jams and noise pollution created by the operations, which were particularly problematic considering that the racecourse was located in a prime residential area. Hence, the Turf Club was relocated to Kranji under a new master plan for land usage in Singapore, with work in Kranji beginning in 1995. The current facility in Kranji was opened in 1999.

1.2 Objectives

This study aims to research the former Bukit Timah Turf Club and the existing Bukit Timah Saddle Club site:

1. To identify key individual buildings/ areas with significant values;
2. To assess and establish the comparative significance of the existing buildings and structures and settings;
3. To conduct a Heritage Impact Assessment; and
4. To propose mitigation and heritage interpretation measures

1.3 Methodology

1.3.1 Criteria

All significant objects, features and structures identified have been documented according to a broad set of international standards with due consideration to the local situation. The assessment criteria used for the study mainly stem from the concepts and principles listed as below:

1. International Charter for the Conservation and Restoration of Monuments and Sites (Venice Charter, 1964).
2. *What is social value?* Chris Johnston and Australian Heritage Commission (1992). Canberra: Australian Government Publication Service.
3. Australia's ICOMOS Charter for Places of Cultural Significance (Burra Charter, 1999).
4. Principles for the Conservation of Heritage Sites in China (China Principles, 2002).
5. *The conservation plan: A guide to the preparation of conservation plans for places of European cultural significance/* James Semple Kerr (2004). Sydney: New South Wales.
6. *Conservation principles: Policies and guidance for the sustainable management of the historic environment/* Paul Drury (2008). English Heritage.

Based on the local situation and criteria from various international standards (see Tables 1.1 to 1.3), the relevant attributes - such as whether the study area is vital in defining, maintaining or supporting the character of an area; is physically, functionally, visually or historically linked to its surroundings; is a landmark; is associated with an important phase, events, theme, person, activities, organisation or institution that is significant to Singapore; is associated with the social development of Singapore; broadly enables and facilitates social connection, networks and other relations; has a design and style that represent an example of an architectural style, building typology, use of the building - have been studied in detail to recognise the various heritage values attached to the study area.

The methodology to recognise various values was used to conduct a rapid survey of the heritage building clusters and individual buildings, structures and settings within the study area to determine their significance.

While significance can be assessed and discussed with regards to factual and often tangible characteristics such as its aesthetic and design qualities, new or unique technologies and association with important people or events, an important additional element of significance is what makes things valued by the people who experience and appreciate them. In this way, assessing significance can be very emotive and subjective. It is therefore essential to combine a range of principles in order to understand significance.

For this project, the assessment of significance has been based upon various characteristics or heritage values that contribute to its overall importance, including:

- Heritage values (aesthetic, historic, evidential, communal) as defined in Historic England's *Conservation Principles*.
- An assessment of built fabric based on an understanding of its historical development, association with other aspects of value and comparative analysis of the built fabric.
- Historical associations with, for example, other horse racing and equestrian sports development in Singapore and the region/ internationally.
- Contribution to setting and views.
- Community interest and value.

Our research, the results from past studies, oral information and our understanding of the physical built fabric has been used to build upon this assessment, resulting in a clear, concise and easy to understand assessment of significance.

The heritage values of the site have been afforded a designation, as explained in Chapter 2. This is to understand their relative contribution to the significance of the site. The Statement of Significance is documented in Chapter 3, where the various elements are assessed, and their levels of importance stated to have a summary overview of significance.

Australia's ICOMOS Charter for Places of Cultural Significance (Burra Charter, 1999 and 2013)

Aesthetic Value	Consideration of the form, scale, colour, texture and materials of fabric; the smells and sounds associated with the land and its use.
Historic Value	The place has influenced or has been influenced by, a historic figure, event, phase or activity.
Scientific Value	The place is involved with and may contribute further substantial information on important data that is of rarity, quality or representiveness.
Social Value	The place is associated with spiritual, political, national or other cultural sentiment of a majority or minority group.

Table 1.1 Australia's ICOMOS Charter for Places of Cultural Significance (Burra Charter, 1999 and 2013).

Principles for the Conservation of Heritage Sites in China (China Principles, 2015)

<p>Historical Value</p>	<ul style="list-style-type: none"> i. Important reasons led to its construction, and the site authentically reflects the historical reality. ii. Significant events occurred at the site or important figures were active there, and its historic setting accurately reflects these events or the activities of these people. iii. The site illustrates the material production, lifestyle, thought, customs and traditions or social practices of a particular historical period. iv. The existence of the site can prove, correct, or supplement facts documented in historical records. v. The historical remains contain a unique or extremely rare period or type elements or are representative of a type of site. vi. Stages of a site's transformations over time are capable of being revealed.
<p>Artistic Value</p>	<ul style="list-style-type: none"> i. Architectural arts, including spatial composition, building style, decoration, and aesthetic form. ii. Landscape arts, including cultural, urban, and garden landscapes of famous scenic locations, as well as particular vistas comprising a landscape of ruins. iii. Associated sculptural and decorative arts, including carvings, statues and fixed ornamentation, frescoes, and furnishings. iv. Immovable sculptural artistic works that are unique in the period, type, subject, appearance or artisan skills. v. The creative process and means of expression of the arts as mentioned above.
<p>Scientific Value</p>	<ul style="list-style-type: none"> i. Plan and design, including the selection and layout of the site, protection of the ecology, response to threats of disaster, and architectural form and structural design. ii. Construction, materials, and techniques and the level of scientific and technological achievement they represented for their time, or their importance as a link in the development of science and technology. iii. A facility or place where scientific experiments, production, or transportation, and so on, occurred. iv. A place where important scientific and technological information is recorded and preserved.

Table 1.2: Principles for the conservation of heritage sites in China.
(Source: http://hdl.handle.net/10020/gci_pubs/china_principles_2015).

Conservation principles: Policies and guidance for the sustainable management of the historic environment (English Heritage, 2008)

Evidential Value	<ul style="list-style-type: none"> i. Derives from the potential of a place to yield evidence either in the forms of material (such as archaeological deposits) or written record about past human activity.
Historical Value	<ul style="list-style-type: none"> i. Derives from how past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative. ii. Depends upon both sound identification and direct experience of fabric or landscape that has survived from the past. iii. The authenticity of a place indeed often lies in the visible evidence of change as a result of people responding to changing circumstances. Historical values are harmed only to the extent that adaptation has obliterated or concealed them, although completeness does tend to strengthen illustrative value.
Aesthetic Value	<ul style="list-style-type: none"> i. Derives from how people draw sensory and intellectual stimulation from a place. ii. It can be the result of the conscious design of a place, including artistic endeavor. Equally, they can be the seemingly fortuitous outcome of the way in which a place has evolved and been used over time. iii. Design value relates primarily to the aesthetic qualities generated by the conscious design of a building, structure, or a landscape as a whole. It embraces composition (form, proportions, massing, silhouette, views and vistas, circulation) and usually materials or planting, decoration or detailing, and craftsmanship. It may extend to an intellectual programme governing the design, and the choice or influence of sources from which it was derived. It may be attributed to a known patron, architect, designer, gardener, or craftsman (and so have associated value) or be a mature product of a vernacular tradition of a building or land management. Strong indicators of importance are quality of design and execution, and innovation, particular if influential.
Communal Value	<ul style="list-style-type: none"> i. Derives from the meaning of a place for the people who relate to it, or for whom it figures in their collective experience or memory. ii. Commemorative and symbolic values reflect the meanings of a place for those who draw part of their identity from it or have emotional links to it. iii. Social value is associated with places that people perceive as a source of identity, distinctiveness, social interaction and coherence. They may relate to an activity that is associated with the place, rather than with its physical fabric. The social value of a place may indeed have no direct relationship to any formal historical or aesthetic values that may have been ascribed to it.

Table 1.3: Conservation principles: Policies and guidance for the sustainable management of the historic environment. (Source: English Heritage, 2008).

1.3.2 International Standards

1.3.3 Defining Values

For Bukit Timah Racecourse, heritage values² attached to the site are noted in Table 1.4 below. The four heritage values are further subdivided by eleven attributes. The assessment of significance uses a scoring mechanism as explained in the Table 1.5 to establish the score, and the subsequent

	Attributes Considered	Score
Aesthetic and Architectural Value	<ul style="list-style-type: none"> i. The design and style represent an example of an architectural style, building typology, use of the building. ii. The building is an example of craftsmanship/workmanship, and construction techniques. iii. Relative rarity and uniqueness of the building. iv. Building intactness and legibility. 	2 points each, maximum 6 points, minimum 0 points.
Historical Value	<ul style="list-style-type: none"> i. The place is associated with an important phase, events, theme, person, activities, organisation or institution that is significant to Singapore. ii. The place is associated with the daily life of the general community in Singapore. iii. The place is associated with the planning histories and development milestones of Singapore. 	1 points each, maximum 3 points, minimum 0 points.
Communal and Social Value	<ul style="list-style-type: none"> i. The place enables and facilitates social connection, networks, and other relations in a broad sense, one that is not necessarily related to the historical value of the place. ii. The place provides a spiritual or traditional connection between past and present. iii. The place provides an essential reference point in a community's identity or sense of itself in both the past and its recent history. 	1 points each, maximum 3 points, minimum 0 points.
Contextual Value	<ul style="list-style-type: none"> i. The place is important in defining, maintaining or supporting the character of an area. ii. The place is physically, functionally, visually, or historically linked to its surrounding. iii. The place is a landmark. 	1 points each, maximum 3 points, minimum 0 points.

Table 1.4: Heritage values and scoring. (Source: Author).

² The terms used in the list of values are derived from a variety of sources to represent the cultural significance of the building to best effect. See Article 5, The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance 2013; and Understanding Heritage Values, Conservation Principles Policies and Guidance. Historic England 2008

1.3.4 Significance as the Basis of Conservation

The philosophy of conservation is centred on significance. It helps to define what contribution various aspects of a place make to a wider understanding and appreciation of history, society, and culture. As such, understanding the significance of the Bukit Timah Racecourse is integral to its redevelopment.

'Significance lies at the heart of every conservation action...unless we understand why a place is worthy of conservation, the whole business of conservation makes very little sense'.³

The site's principal source of heritage value lies in its association with horse racing as noted above. Therefore, the baseline for assessment of the site is as a horse racing venue. However, since the transfer of racing to Kranji in 1999, the site's last tenanted use is an interim circumstance that is both partial (the site generally is substantially under-used) and without distinction. Therefore, any considerations for future plans within the site should be sustainable, and this should be reflected in the heritage impact assessment as well in the mitigation and interpretation strategy.

1.3.5 Defining Significance

Significance – or, as it is also known, cultural significance – has been defined by ICOMOS as the

'aesthetic, historic, scientific, social, or spiritual value for past, present, or future generations... Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects'.⁴

This description and definition of significance is generally acceptable on an international basis. This sentiment is described by ICOMOS as follows:

'Places of cultural significance enrich people's lives, often providing a deep and inspirational sense of connection to community and landscape, to the past and to lived experiences'.⁵

In the case of Bukit Timah Racecourse, the importance to sport and equestrianism is essential to understanding and assessing its significance.

3 Clark, K. Informed Conservation, (2001).

4 The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance 2013

5 The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance 2013

The basis for assessment of the Bukit Timah Racecourse follows the methodology set out in this section and also takes into account guidance published in the international charters listed at section 1.3.1.⁶ This provides a method of assessment of historic assets which enables informed management and a logical approach to decision-making in respect of change.

This study will provide a framework for decision-making, to ensure the long-term future of the remaining heritage assets and their settings across the site, taking into consideration that at Bukit Timah Racecourse, there are distinct eras of development, which feature historically significant events.

For the purpose of this report, significance is determined using the following formula:

$$\begin{aligned} & \textbf{Significance} \\ & = \\ & \textbf{Aesthetic \& Architectural Value + Historical Value} \\ & \textbf{+ Communal \& Social Value + Contextual Value} \end{aligned}$$

⁶ Urban Redevelopment Authority. (2021). Conservation Principles. <https://www.ura.gov.sg/Corporate/Guidelines/Conservation/Conservation-Principles>. It should be noted that the Conservation Guidelines are relevant to the extent of assessment of character defining elements only. Further, they do not constitute an international charter.

The significance level and the subsequent banding is set out in the table below:

	Significance Level	Definition	Significance Score
Band 1	Exceptional	Elements which make a major contribution to the overall significance of the place.	11-15
		Spaces, elements or fabric originally of substantial intrinsic quality, and exhibit a high degree of intactness and quality, though minor alterations or degradation may be evident.	
Band 2	Moderate	Elements which make a moderate contribution to the overall significance of the place.	6-10
		Spaces, elements or fabric originally of some intrinsic quality, and may have undergone minor or extensive alteration or degradation.	
Band 3	Low	Elements which make a minor contribution to the overall significance of the place.	3-5
		Spaces, elements or fabric originally of little intrinsic quality, and may have undergone alteration or degradation. Original spaces, elements or fabrics of some quality, which have undergone extensive alteration or adaptation to the extent that only isolated remnants survive.	
	Neutral	Elements which are of little consequence in terms of understanding or appreciating the site and its developments , without being intrusive.	1-2
	Intrusive	Elements which are visually intrusive or which obscure the understanding of significant elements of the site , and may be identified for removal.	0

Table 1.5: Definition of significance level. (Source definition of terms is developed based on Kerr, J, Conservation plan: A guide to the preparation of conservation plans for places of European cultural significance. Australia ICOMOS, 2013, pp. 19-20; and Anonymous, Assessing heritage significance. NSW Heritage Office, 2011, p. 11).

1.3.6 Consultation and Engagement

During the preparation of this report and appraisal of the site, the Singapore Land Authority and Urban Redevelopment Authority have been consulted informally to gain access to the publicly-restricted areas of the site and to understand the extent and degree of their awareness and appreciation of Bukit Timah Racecourse.

Subsequent oral history interviews were conducted to assist mapping the historical and contemporary social significance of the Bukit Timah Racecourse, and to gain information of prominent owners, notable personalities and events who were connected with the site.

1.4 Structure of the Report

Regular use of this heritage research study report will help to inform future conservation, repair, management, and use of the site.

This **Chapter 1** introduces the background to the project and objectives of the Heritage Research Study for the Former Bukit Timah Racecourse, and the system for assessing heritage significance.

Chapter 2 and 3 detail an understanding of the site, its context, and its historical development. This has been informed by a Baseline Study which comprised a survey of the site and archival research to place the Study Area in a social, architectural, environmental, and historical context.

Chapter 4 describes the aesthetic and architectural, historic, communal and social, and contextual values of the site by individual building/structure/space. It has been supported by interviewing several previous and current users of the site.

Chapter 5 is an assessment of cultural significance according to the heritage values set out in Chapter 4.

Chapter 6 is an illustrated inventory of the site's character-defining elements (CDEs) including buildings, structures, spaces, and views. The significance of each CDE is assessed according to the criteria outlined in Chapter 1.

Chapter 7 identifies conservation principles and the conservation standard and international charters to which the redevelopment plan shall be guided by.

Chapter 8 outlines a set of specific conservation guidelines for planning and designing the proposed redevelopment plan. This chapter also maps out a suggested approach to interpretation, following the research findings in Chapter 4 and completion of the Statement of Significance in Chapter 5. The proposed plan identifies the key interpretative narratives for the site emphasising both the tangible and intangible heritage to create a comprehensive approach to the site as a whole and its position within the wider community context.

Chapter 9 and the impact assessment is based on observations made during site visits and a review of the schematic plans provided by the Urban Redevelopment Authority. It addresses the impact of the proposal, and its effect on the heritage values of the former Bukit Timah Turf Club and existing Bukit Timah Saddle Club as outlined in Chapter 4. The assessment also considers the potential for detrimental impacts because of the proposal, as well as all mitigation measures proposed.

Chapter 10 looks at sustainable management and opportunities for how to take the project forward. It outlines a series of policies and suggestions applicable to the historic buildings during the works and after the projects completion as part of a total asset plan and requirements for routine and periodic maintenance.

1.5 Gaps in Knowledge

At the time of publication, there are no known gaps in knowledge. Other works that may impact on heritage assets are also not known. This report will therefore need to be reviewed and updated as necessary when the full extent of temporary works and the redevelopment plan is known and finalised.

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2.0 Understanding the Site and Context

2.1 Location and Area of the Study

The former Bukit Timah Turf Club is located at the south-western tip of the Central Water Catchment area, Bukit Timah Nature Reserve and Central Catchment Nature Reserve. The site is adjacent to Bukit Timah Road, one of Singapore's oldest and longest roads, built to connect the bustling town centre to the heavily forested north (Figure 2.1).

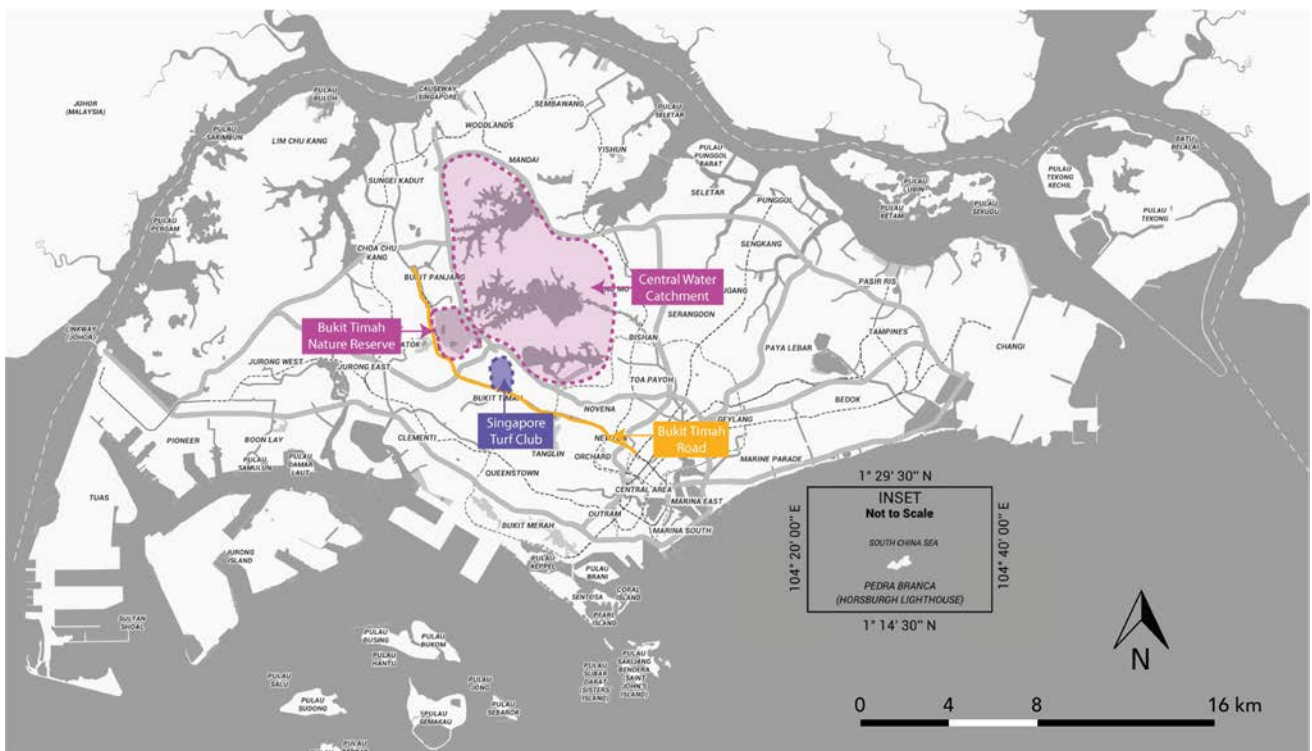


Figure 2.1. The former Bukit Timah Turf Club is located at the southwestern tip of the Central Water Catchment area, 2021 (Source: OneMap SG, Adapted by Author).

It is located at a hillside, with the highest point at approximately 93m along Bukit Tinggi Road, north of the Turf Club. Along its north-eastern boundary is Champions Golf Course, where it rises above the Main Track at a highest point of around 35m (Figure 2.2).

The West, South and East are Swiss Club housing estate, Dunearn residential estate, Sixth Avenue MRT and commercial area, and Eng Neo Ave residential estate respectively. Further to the West are heritage sites Former Ford Factory, Former Beauty World, Bukit Timah Nature Reserve and Former Bukit Timah Railway Station. While on the further East are Adam Food Centre, Cluny Court shophouses and Former Raffles College (Figure 2.3).

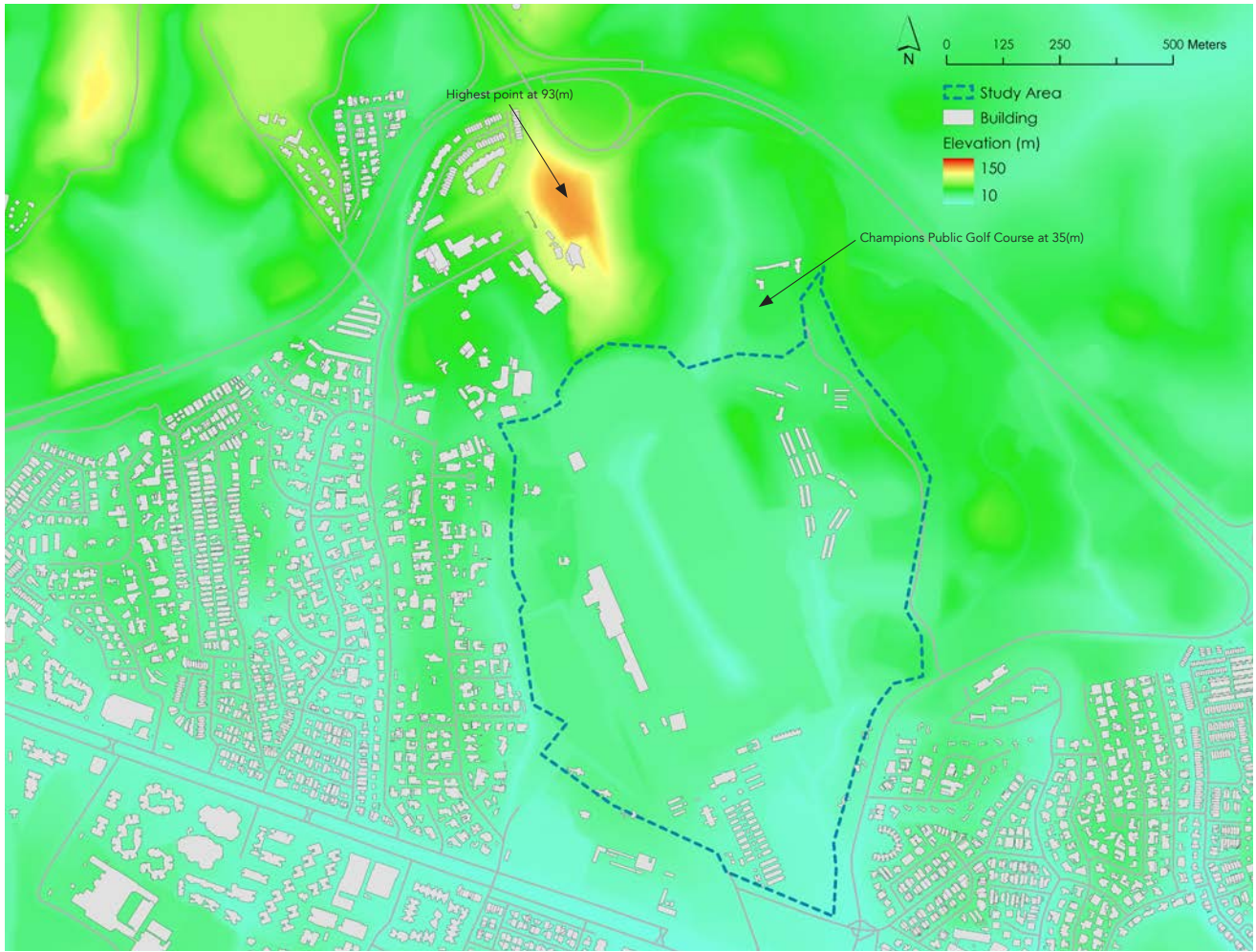


Figure 2.2 Elevation map of the former Bukit Timah Turf Club. (Source: Urban Redevelopment Authority).

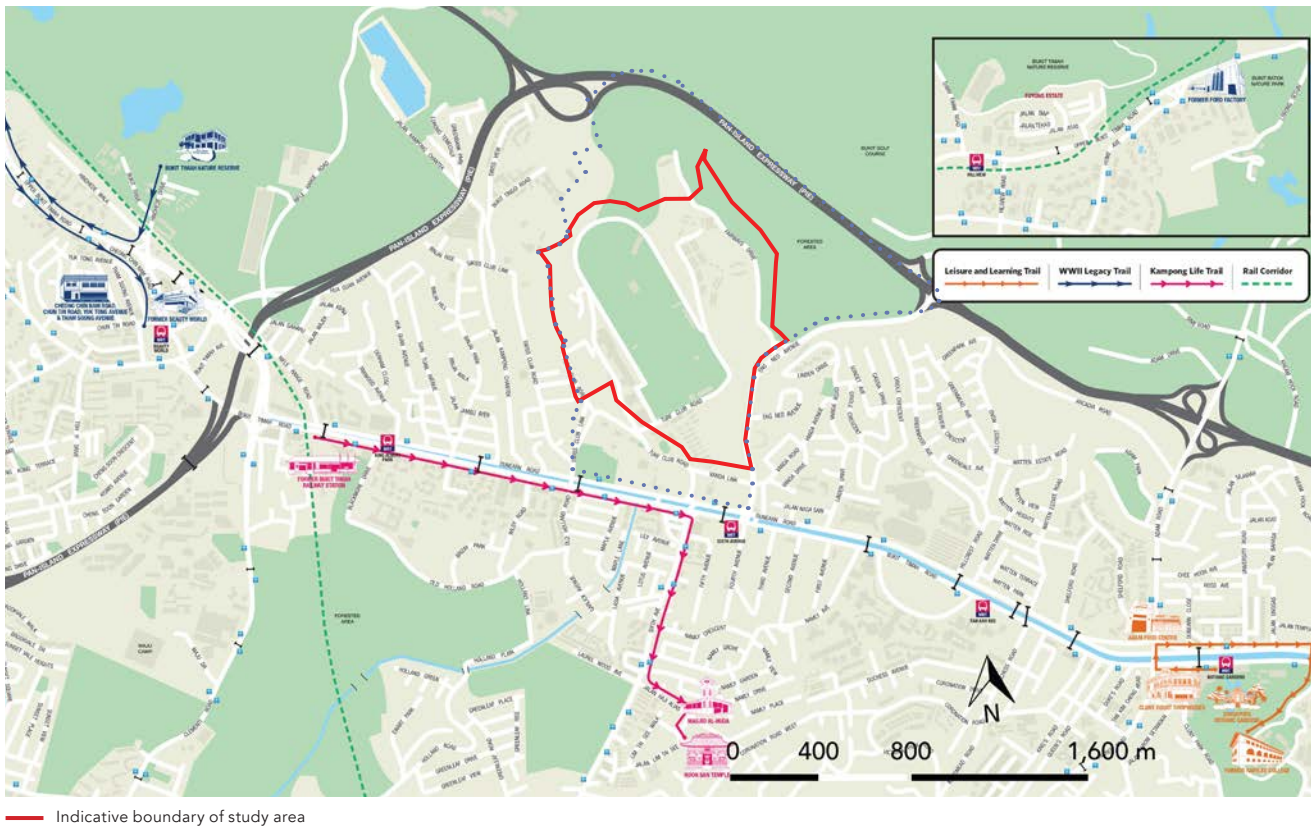


Figure 2.3 Heritage sites around the former Bukit Timah Turf Club. (Source: National Heritage Board).

2.2 Setting and Context

The present site is bounded by the Dunearn Road stretch of the Pan Island Expressway on its North, Eng Neo Ave on its East, Dunearn Road on its South and Swiss Club Good Class Bungalow Area (GCBA) on its West (Figure 2.3). The site, while surrounded by residential areas, is relatively close to the lush rainforests of the Central Catchment Nature Reserve and Bukit Timah Nature Reserve, lending it a refreshing air and tranquil atmosphere amidst its verdant landscape. The main entrance is from Dunearn Road into Turf Club Road, passing through a series of stables and into the Grandstand car park.

For the report, each individual building, structure and open space has been given a unique ID (Figure 2.5 and Table 2.1). These IDs are quoted throughout the report - for example: South Grandstand (Building No. 1.1).

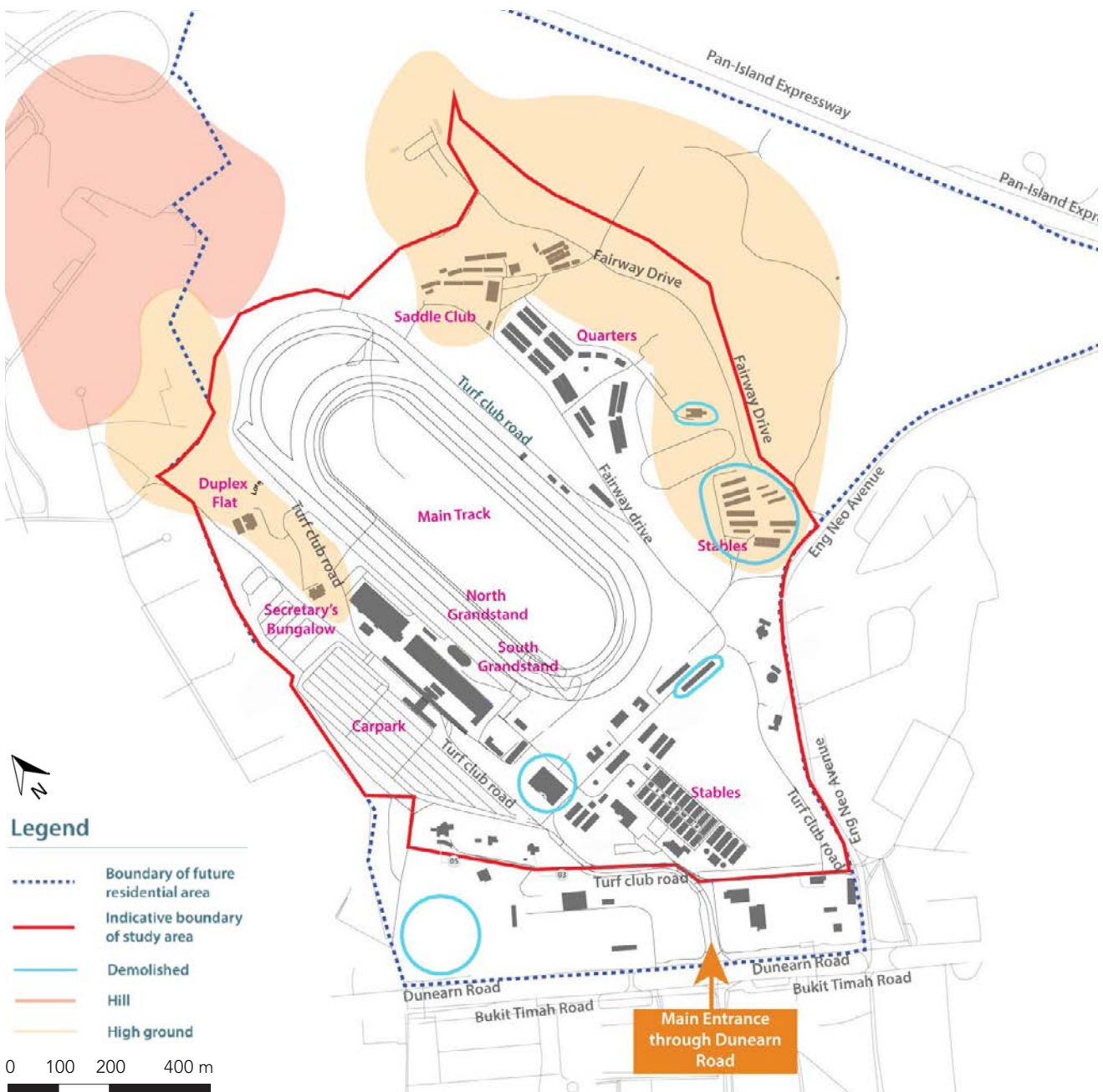


Figure 2.4 Site plan of the former Bukit Timah Turf Club showing building blocks and the immediate surroundings, 2021.

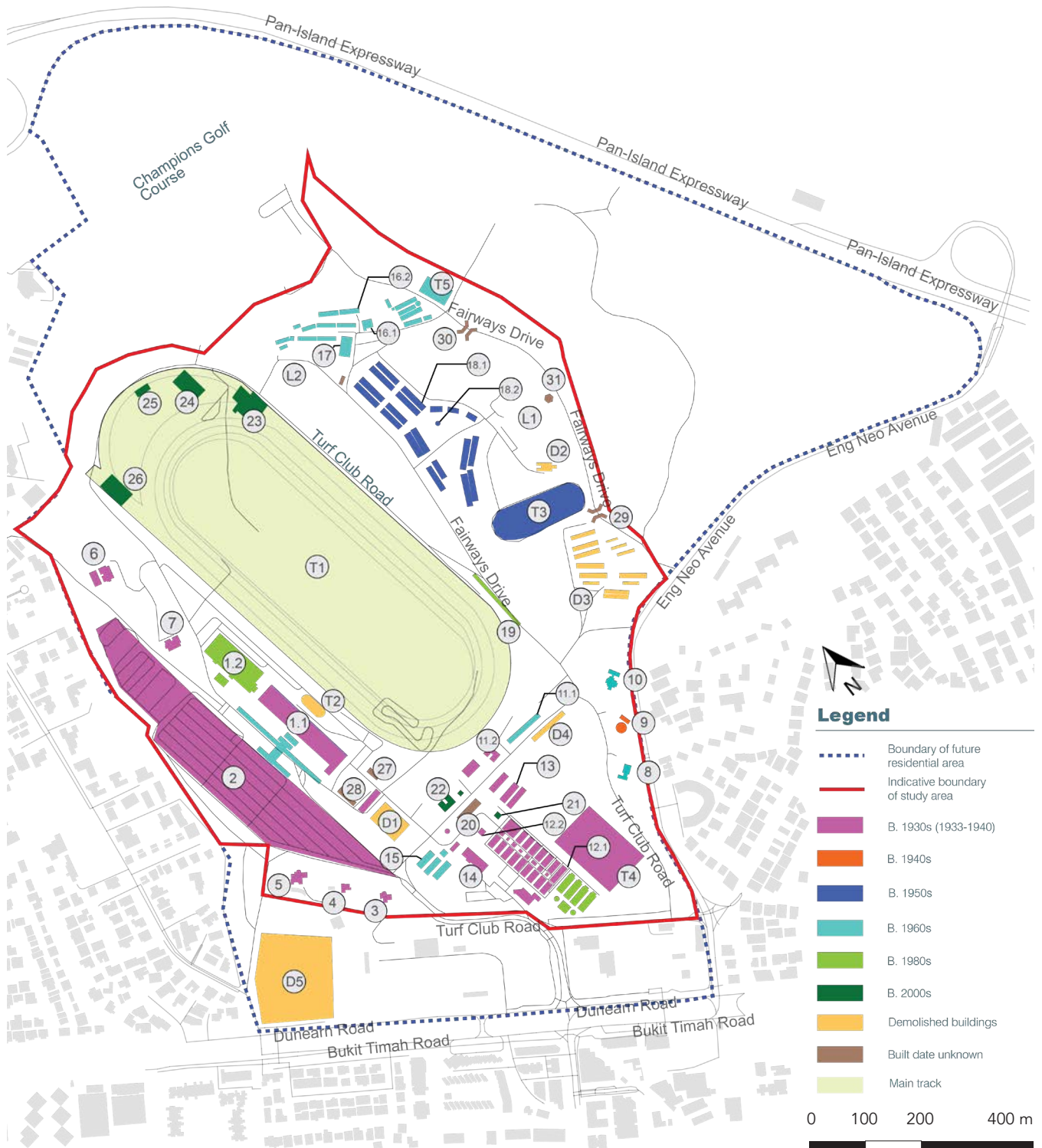


Figure 2.5 Former Bukit Timah Turf Club Base Plan, 2021.

No.	Structure	Address	Tenanted as of 2022 (Yes/No)	Tenant in 2022	Built date
1.1	South Grandstand	200 Turf Club Road	Yes	The Grandstand Mall	1933
1.2	North Grandstand	200 Turf Club Road	Yes	The Grandstand Mall	1981
2	Grandstand Car Park	210 Turf Club Road	Yes	The Grandstand Car Mall	1930s
3	Bungalow	232 Turf Club Road	Yes	Chiltern House	Between 1933-47
4	Bungalow	234 Turf Club Road	Yes	HCSA Dayspring Residential Treatment Centre	Between 1933-47
5	Bungalow	236 Turf Club Road	Yes	Little Paddington Preschool	Between 1933-47
6	Duplex Flat (after the 1980s renovation. Before that it was the secretary's bungalow)	192 Turf Club Road	Yes	Private residence	1933
7	Secretary's Bungalow (after the 1980s renovation. Before that it was the deputy secretary's bungalow)	198 Turf Club Road	No	Vacant	1933
8	Bungalow	32 Turf Club Road	Yes	Private residence	1960s
9	Bungalow	34 Turf Club Road	No	Vacant	1940s
10	Bungalow	36 Turf Club Road	Yes	Private residence	1960s
11.1	Syces' Quarters	2 Turf Club Road	Yes	Blue House Nursery & International Preschool	1970s
11.2	Labourer's Quarters	2 Turf Club Road	Yes	Blue House Nursery & International Preschool	1950s
12.1	Stables	100 Turf Club Road	Yes	Horse City	18Nos. Blocks: 1933 4Nos. Blocks, 2Nos. Rolling Boxes; and 2Nos. Stores: 1980
12.2	Feed Room	100 Turf Club Road	Yes	Impression Art Studio	1933

No.	Structure	Address	Tenanted as of 2022 (Yes/No)	Tenant in 2022	Built date
13	Stables	104 Turf Club Road	Yes	Rosebrook Developmental Centre	Between 1933-47
14	Workers' Quarters	100 Turf Club Road	Yes	Pegasus Hotel	1933
15	Stables	110 Turf Club Road	Yes	Cat Safari Singapore CSS, Sunny Heights	1962-64. Additions in 1994
16.1	Bukit Timah Saddle Club	51 Fairways Drive	Yes	Riders Cafe	1962
16.2	Stables	51 Fairways Drive	Yes	Bukit Timah Saddle Club	1962
17	Fairways Bungalow	55 Fairways Drive	Yes	Bright Path Preschool	Between 1960s-70s
18.1	Labourers' Quarters	53 Fairways Drive	No	Vacant	Between 1947-53
18.2	Community centre	53 Fairways Drive	No	Vacant	Unknown
19	Hay Barn	Turf Club Road	Yes	Bukit Timah Junkyard	1980s
20	Stables	100 Turf Club Road	Yes	Unknown	Unknown
21	Basketball court shelter	100 Turf Club Road	Yes	Unknown	After 2000
22	Tennis court shelter	Turf Club Road	Yes	Tanglin Academy Singapore	After 2000
23	Basketball court shelter	Turf Club Road	Yes	SG Basketball	After 2000
24	Sheltered sporting arena	Turf Club Road	Yes	The Cage Sports Park	After 2000
25	Container blocks	Turf Club Road	Unknown	Unknown	After 2000
26	Indoor sporting arena	Turf Club Road	Yes	Red Dynasty Paintball Park	After 2000
27	Saddling Boxes	200 Turf Club Road	Yes	My Tennis Academy	Unknown

No.	Structure	Address	Tenanted as of 2022 (Yes/No)	Tenant in 2022	Built date
28	Saddling Stalls	200 Turf Club Road	Yes	Swallows and Amazons Kindergarten	Unknown
29	Horse Bridge No. 1	Fairways Drive	No	NA	Unknown
30	Horse Bridge No. 2	Fairways Drive	No	NA	Unknown
31	Hot Walker	Fairways Drive	No	NA	Unknown
D1	Paddock Block	Turf Club Road	Demolished	NA	1933
D2	Equine Hospital	Fairways Drive	Demolished	NA	Between 1947-53
D3	Stables	Turf Club Road	Demolished	NA	Between 1947-53
D4	Equine pool	Turf Club Road	Demolished	NA	Between 1933-81
D5	Multi-storey car park	Dunearn Road	Demolished	NA	1950s
T1	Main Track	Turf Club Road	Yes	Sports Academies	1933
T2	Parade Ring	Turf Club Road	Yes	The Grandstand Mall	Unknown
T3	Exercise Ring	Fairways Drive	Unknown	Unknown	Unknown
T4	Exercise Ring	100 Turf Club Road	Unknown	Unknown	Unknown
T5	Bukit Timah Saddle Club Track	51 Fairways Drive	Yes	Bukit Timah Saddle Club	Unknown
L1	Horse Pastures	Fairways Drive	Unknown	Unknown	Unknown
L2	Forested knoll	Fairways Drive	Unknown	Unknown	Unknown

Table 2.1: Base Plan Map reference table, updated as of 2022.

The former Turf Club site consists of high grounds and a hill in the background and the low ground in the foreground as experienced from Turf Club Road entrance. By examining its topography, the low ground levelled area consists of stables and bungalows, while on slightly higher grounds are the North and South Grandstand (Building Nos. 1.2 and 1.1), Grandstand Car park (Building No. 2) and Main Track (T1). Further north is the highest area where the Duplex Flat (Building No. 6) and Secretary's Bungalow (Building No. 7) are located. The siting of the Duplex Flat and Secretary's Bungalow on high grounds are in line with their function as vantage points overlooking the Main Track on the lower ground.

Turf Club Road is a prominent arterial road connecting the stables (Building No. 12.1, 13 and 15) and workers' quarters (Building 14), Syces' quarters (Building No 11.1), and Labourers' quarters (11.2) with the North and South Grandstand, Paddock Block (D1), Parade Ring (T2) and Main Track (T1) providing direct circulation and ease of transport of horses and logistics to the main facilities during race days. Fairways Drive further connects Turf Club Road to the Bukit Timah Saddle Club (Building No. 16.1), labourers' quarters (Building No. 18.1) and the now-demolished stables (D3) located at the east side of the Main Track. These facilities are relatively tucked away from the Grandstand and Main Track, indicating their less dominant use during race days.

Bungalows (Building Nos. 8, 9, 10) are located along Vanda Link and sheltered by trees (Figure 2.6) which screen them from the nearby stables and exercise ring, ensuring privacy for its residents. Duplex Flat and Secretary's Bungalow are tucked in between the North Grandstand and Main Track, separated by trees and a spacious green area (Figure 2.7 & 2.8).



Figure 2.6. Trees and shrubberies along Vanda Link, creating a lush barrier separating private and public space, 2021.



Figure 2.7 198 Turf Club Road (Duplex flat) in the background separated by green spaces along 192 Turf Club Road, 2021.

2.3 Recent Land Uses

The North and South Grandstand were used as commercial spaces and offices. Other buildings/ structures on-site were also tenanted and used for commercial purposes (Building Nos. 3, 4, 5, 11, 12, 13, 14, 15, 16, 17), while some were used as private residences (Building Nos. 6, 8, 10). The racing tracks which existed at the time racing ceased in 1999, have all been altered, with new facilities being built over them. Only the outline of the outer track is still partially visible as its configuration was incorporated into the construction of Turf Club Road in 2003. The original inner field was adapted for use as sport fields and academies. The buildings south of Fairways Drive, previously used for stables and equine hospitals have been demolished. Several other buildings have also been demolished, such as stables and a building at Paddock Block adjacent to the South Grandstand. The rest of the site is unoccupied.

2.4 Limitations

Some limitations were encountered when carrying out this baseline study. The first was restricted access to the site and its surrounding buildings/ structures. Most of the buildings were occupied - private residences/ workspaces - or were vacant and locked, and could not be entered. The second limitation was the lack of readily available architectural data regarding the buildings/ structures that were studied.

A basic summary of the building, structures and open spaces is outlined in Table 2.1 For further details and the heritage values, see section 4.6.



Figure 2.8 Trees surrounding 192 Turf Club Rd (last known use as the Secretary's residence), providing privacy from the Grandstand and Main Track, 2021.

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3.0 History and Development

3.1 The beginnings of horse racing at Farrer Park

The STC is the sole horse racing institution in Singapore. It began life as the “Singapore Sporting Club”, formed on 4 October 1842 by racing enthusiasts, under the leadership of Scottish businessman William Henry Macleod Read. They built Singapore’s first racetrack and grandstand in what is now Farrer Park (Tan, 1992), and first race took place in 1843 to mark the 24th anniversary of the founding of the colony by Stamford Raffles, with prize money of \$150 (STC, n.d.).

In the beginning, horse racing was an amateur sport. Owners trained and rode their own ponies, obtained from Java and China. In the 1880s, racehorses were imported from Australia (Tan, 2019). On non-racing days, the grounds were used for various other activities, such as polo, golf, and even sheep herding (Bukit Timah Saddle Club, 2019). In 1896, with the formation of the Straits Racing Association (now the Malayan Racing Association), horse racing became a professional sport, with official rules. (STC, n.d.).

The Malayan Racing Association [MRA], was formed under the name of the “Straits Racing Association” in 1896 to promote horse racing in Singapore and Malaysia, overseeing the interests of the four turf clubs through the uniformity of its rules for racing. It was renamed the MRA later in 1961. Three of the turf clubs are located in Malaysia, namely the Penang Turf Club, Perak Turf Club, and Selangor Turf Club. The fourth is the STC.

Racing continued throughout World War I, and helped to raise money for the war effort. Shortly after the end of the war, the first aeroplane to land in Singapore touched down at the Racecourse on 4 December 1919, en-route to Darwin, on the very first flight from London to Australia.

In 1924, the club was re-named the Singapore Turf Club (Tan, nd).



Figure 3.1 Farrer Park Racecourse in the late 1840s.
(Source: National Museum of Singapore, 1840s).



Figure 3.2 Race at Farrer Park Racecourse.
(Source: Tan, 1992).

3.2 Relocation to Bukit Timah

As racing gained popularity, the Farrer Park Racecourse became inadequate for its growing requirements. In 1927, the STC sold the racecourse to the Singapore Improvement Trust for \$1.5 million and, in 1929, purchased 244 acres of the Bukit Timah Rubber Estate, which was part of the Chasseriau Estate (Tan, 1992). The new Bukit Timah Racecourse was completed six years later, and was opened in 1933 by the Governor Sir Cecil Clementi (Tan, 1992). Designed by the firm of Messrs Swan & Maclaren¹, it costs \$3.0 million, including the purchase of the land. The new premises provided a range of facilities to enrich the visitors' experience. The grandstand, a steel-frame building arranged in three tiers and equipped with nearly 2,000 chairs supplied by Messrs Frankel Bros (The Straits Times, 1933), gave the spectators an uninterrupted view of the whole racecourse. Other amenities, such as the parade ring, tote house, syces' quarters, luncheon rooms, modern stables and the secretary's bungalow greatly enhanced the smooth running and efficiency of horse racing and related businesses.

Around the same time, Bukit Timah Railway Station was built near the new racecourse premises in 1932. Due to its proximity to the STC, the railway station served as an unloading point for racehorses (NHB, 2021).

With the onset of World War II, racing at Bukit Timah ceased for six years from 1941 to 1947. The Grandstand was used as a military hospital, first by the British, then by the Japanese. Under the Japanese, the stables and workers' quarters were used as military car parks. After liberation, it was used as a military transit centre.

The war left the Grandstand in poor condition, and a \$3 million renovation project was launched. Racing resumed in 1947, while repairs to war damage continued for a few more years. Concurrently, the committee improved and expanded the operational scale of the racecourse. Sunday racing was introduced in 1959. The following year, members of the public were allowed to attend the races which hitherto had been open only to members and owners. (Tan, 1992).

As the racing industry grew, the STC initiated cross-betting between itself and the other three clubs in Malaya (Tan, 1992). From the 1960s to 1980s, horse racing events continued to garner more publicity within Singapore, and they were notably marked by a few events.

1 Messrs Swan & Maclaren was the most prominent architectural firm in Singapore during the later part of the British colonial era. The firm began in Singapore, Straits Settlements as Swan & Lermite in 1887 by two surveyor engineers, Archibald Alexander Swan and Alfred Lermite. It later became Swan & Maclaren in 1892 when another James Waddell Boyd Maclaren joined along side Lermite withdrawing the partnership in 1890. The firm had designed multiple significant buildings in Singapore, such as Raffles Hotel, St Andrew's Cathedral, Masjid Sultan, Victoria Memorial Hall and Theatre, etc.

In 1972, Queen Elizabeth II of the United Kingdom visited the Bukit Timah Racecourse, which was then under the chairmanship of Tan Sri Runme Shaw, the philanthropist and founder of the Shaw Organisation. Her visit drew a crowd of over 20,000 who had come to get a glimpse of the Queen, along with Prince Philip and Princess Anne. To mark the occasion, the Queen Elizabeth II Cup was inaugurated, which was won that day by the legendary English jockey Lester Pigott, riding on *Jumbo Jet* (Tan, 1992).

Another landmark was the first permits granted to female jockey's to ride in Singapore, Irene Pateman and Paula Wagg from Australia in 1981 (STC, n.d.).

In addition to racing, the racecourse also hosted other significant events, such as the Orchid Show, inaugurated in 1963 by the Yang di-Pertuan Negara (later President), Yusof bin Ishak (The Straits Times, 1963).

To accommodate more racegoers, the \$18 million North Grandstand was opened in 1981 and the old South Grandstand was renovated. The North Grandstand, a bold, modern structure, designed by Charles Ho of Iversen and Van Sitteren, with its dramatic cantilevered roof, was in striking contrast to the old-fashioned colonial-era South Grandstand, and is one of the iconic buildings of Singapore's post-independence architecture.

Together, both grandstands could hold around 50,000 spectators. The STC also established microwave links which enabled racegoers to watch live racing events held outside of Singapore (STC, n.d). The STC was dissolved in March 1988 when the Tote Board, set up by the government, took over its operation. The board appointed Bukit Turf Club (BTC) as the agent to oversee the racing. The BTC later reverted to its original name - STC - in 1994.



Figure 3.3 The grandstand during a racing event. (Source: Tan, 1992).



Figure 3.4 Horse parade in the parade ring. (Source: Tan, 1992).



Figure 3.5 Queen Elizabeth presenting the Queen Elizabeth II Cup to the winner. (Source: Royal Collection Trust, 1972).

3.3 Current location at Kranji

Proposals to relocate the racecourse again emerged in the late 1980s because of the traffic congestion and noise which accompanied every racing event, and the accompanying nuisance to what was now the prime residential neighbourhood of Bukit Timah. (Singapore Monitor, 1984). In 1993, the STC announced plans to move the racecourse to Kranji (The Straits Times, 1993), with the intention of developing the original as a residential area. In 1999, the STC moved to new premises, and it was grandly opened in 2000 by the then President, S R Nathan, along with the \$3 million Singapore International Cup as the opening race (STC, n.d.). Since then, horse racing has taken place at Kranji Racecourse, with Singapore Pools in charge of horse-betting since 2019.

3.4 Bukit Timah Racecourse after the move to Kranji

The Grandstands were leased first to Singapore Agro Agricultural, who reopened them as “Turf City Mall”, then in 2012 to Cogent Land Capital, the last master tenants, who rebranded them as “The Grandstand”². They have become a fascinating retrofitted megastructure, unique in Singapore, supporting a diverse range of tenants, including a large supermarket, sports facilities, pre-schools, art studios, offices, the studio of an award-winning architectural practice, as well as food and beverage outlets catering to all budgets, ranging from food courts, to bars, high end restaurants, and live seafood establishments complete with aquarium tanks. Units facing the former racecourse have magnificent views across the former racecourse, now occupied by playing fields and greenery. In their current incarnation, the grandstands are an example of what Bernard Tschumi called “cross-programming” which he defined as:

‘using a given spatial configuration for a program not intended for it, that is, using a church building for bowling’ ... similar, for example, to ‘typological displacement: a town hall inside the spatial configuration of a prison or a museum inside a car park structure. Reference: crossdressing’ (Tschumi, 1996).

In the midst of this change, the grandstand buildings maintained their architectural integrity, a testament to their strong architectonic qualities.

² All tenancies ended on 31 December 2023. The site has been vacated since 1 January 2024.

3.5 Summary Timeline

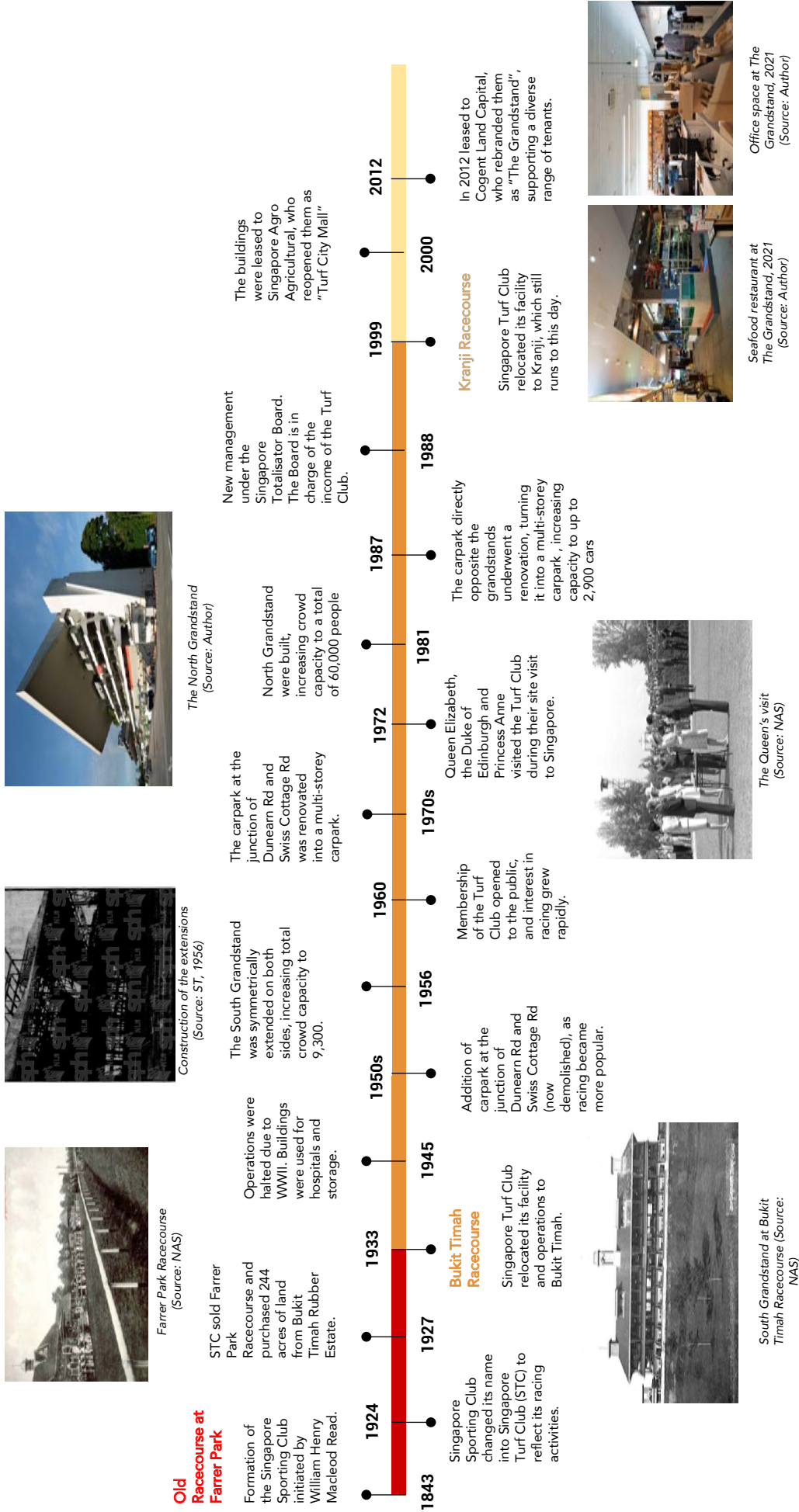


Figure 3.6 Bukit Timah Racecourse summary timeline.

4.0 Heritage Values and Significance

Preamble

As explained in section 1, the significance at Bukit Timah Racecourse is broken down into sections according to the four heritage values as follows:

- 4.1 Aesthetic or Architectural Value
- 4.2 Historical Value
- 4.3 Communal and Social Value
- 4.4 Contextual Value

Note: Refer to table 1.4 for definition of the heritage value attributes.

4.1 Aesthetic or Architectural Value

The Site	Exceptional
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In the Introduction to *The Winning Connection – 150 years of Racing in Singapore*³, the Bukit Timah Racecourse is described as a “picture-perfect parkland”. One gets some sense of this in a 1950s aerial photo of the site (see fig 4.1), which showcases the crisp architecture of its buildings and the attention to detail in the maintenance of landscape. This is characteristic of the racecourse typology, which historically were well kept. This is also clearly indicative of the degree of investment in such sites in order to derive substantial aesthetic value.

STC and the Bukit Timah Racecourse, both individually and in association, played a substantial role in the development of horse racing in Asia, which in part is manifest in the characteristics of Bukit Timah. In comparison with other clubs in the region, the STC and Bukit Timah Racecourse appear to have been more popular/highly esteemed amongst racegoers, and STC has continued to operate till today.⁴



Figure 4.1 Racecourse ariel view in circa 1950s. (Source: Mark Bailey)

3 Tan, S. (1992) *The Winning Connection: 150 years of racing in Singapore*. P9.

4 It should also be noted that comparisons are of limited value due to the different ways that different clubs have evolved. For example, The Hong Kong Jockey Club (1884), though still a private members' club, admits non-members to race meetings and turns over considerable sums every year; it also donates billions of dollars to charitable causes and is the largest employer in Hong Kong. It also has a monopoly on gambling in Hong Kong. Selangor Turf Club (1896); Perak (1884); and Penang (1896) have remained as private clubs. The Singapore Turf Club (1842), the oldest of these and now resident at Kranji, operates as a publicly-owned club.

Bukit Timah Racecourse was very well regarded by those whose views were recorded. The commemorative book ⁵, for example, declares:

"...the newspapers [claimed] that it was "a gloriously appointed racecourse" and "undoubtedly one of the finest racecourses in the East". ⁶

A more measured description is provided by a visitor, Douglas Graham, who, having met a Singapore-based English couple on board a ship, wrote in his diary:

"They took us to a meeting at the racecourse which, it is claimed, is the finest in the world. This statement I took with a grain of salt, but after seeing it I felt sure the claim was justified." ⁷

This does not, of course, make Bukit Timah Racecourse superior to others in the region but when placed alongside other characteristics, for example, the response to the privations of war, the degree of investment in the site over a sustained period of time, as explained elsewhere in this document, the reputation of Bukit Timah as a high-quality venue is clear.

Bukit Timah Racecourse was not revolutionary in the development of racecourses. It followed a similar arrangement to its predecessor at Farrer Park and *"The [Bukit Timah] course was built based upon the buildings and layout of various racecourses in the region, including those in Bombay, Rangoon and Kuala Lumpur."* ⁸

5 Op. cit.
6 Op. cit. p.33
7 Op. cit. p.34
8 Op. cit. p.28

Bukit Timah's reputation as a high quality racing venue undoubtedly took a knock as a result of the World War II, as did other racecourses, notably the Rangoon Turf Club course at Kyaikkasan, which has never recovered. In Singapore meanwhile, the then-Chairman, HC Reilly, said in 1947:

*"When I visited the course in September 1945, it was a woeful sight. It was however not a time for niggardly counting of losses but for thankfulness for many mercies. One course of action and one only was clear to the Committee, and that was to get on with the work of rehabilitation."*⁹

The Bukit Timah Racecourse re-opened in November that year.

The Bukit Timah Racecourse is by default a large, open space. As such, it is distinctive as a landscape due to its size and the juxtaposition of buildings and landscaping. The racetrack is the principal element in the context of the landscape by reason of its size and distinctive shape, being a lozenge, with parallel straights and half-round ends. It is self-evidently "designed" rather than naturalistic, such as may be found at UK race courses. The geometric formality of the racetrack is reinforced by the juxtaposition of the grandstands, which are arranged to relate directly to the racetrack to afford the optimum viewpoints for racegoers. These characteristics all combine to give the site a particular distinction.

On a visit to Bukit Timah, Mr C H Brown, of the Kalgoorlie Boulder Race Club in Western Australia described it as

*"...very decorative, and well-planned. One does not realise how up-to-world standard it is until one sees it."*¹⁰

9 Op. cit. p.36

10 The Singapore Free Press 2 January 1962

The North Grandstand (Figure 4.2) was designed by Charles Ho. Built in 1981 at a cost of SGD18Million,¹¹ it afforded the Club to expand its spectator capacity by a further 50,000 racegoers. The building is not a conserved building identified by the statutory authority of Singapore.

Architecturally, the North Grandstand is a substantial building, which is reinforced by the retained footprint of the racecourse and the spatial relationship between them to the extent that neither the grandstand nor the racecourse makes sense without the other.

The North Grandstand is of architectural significance as a notable example of Modernist architecture, where its primary function is to provide seating and shading for racegoers. The design is striking in its simplicity and scale and is the largest cantilever roof construction in Singapore.



Figure 4.2 North Grandstand in 2021

11 Tan, S. (1992) *The Winning Connection: 150 years of racing in Singapore*. P10.

Circular and cylindrical elements on the side and rear show the stylistic influence of the Japanese Metabolist school ¹² which had been formed in 1960 under the mentorship of Kenzo Tange ¹³. The grandstand's massive trapezoidal vertical elements hint at the heroic structures conceived by the visionary Italian architect Antonio Sant'Elia ¹⁴ who was part of the Futurist movement that originated from Italy in the early 20th century. Futurist architecture ¹⁵ was notable for its long dynamic lines which can be partially observed in the grandstand design at Bukit Timah Racecourse.

The architectural style is "muscular" with plenty of character and appears very capable of adapting to its last tenanted use without undue loss of significance. The scope for enhancing its significance lies in better spatial engagement with its immediate surroundings and improvements to servicing. For example, the use of split-type air-conditioning comprising fan-coil units and externally mounted condensers is quite disfiguring. Changing this arrangement to a centralised system would improve the presentational quality, and therefore aesthetic value, of the building.

12 The 'Metabolist School' The Metabolist school emerged from post-war Japan when the need for new housing and infrastructure grew exponentially. Emerging technologies around prefabrication and a reliance on mechanical power to construction structures that were visionary, often radical in design and execution.

13 The Pritzker Architecture Prize. (2021). Kenzo Tange. <https://www.pritzkerprize.com/biography-kenzo-tange>

14 The Editors of Encyclopedia Britannica. (2021). Antonio Sant'Elia. <https://www.britannica.com/biography/Antonio-SantElia>

15 Guggenheim. (n.d.). Italian Futurism: 1909-1914 Reconstructing the Universe. <http://exhibitions.guggenheim.org/futurism/architecture/>

First built in 1933, the colonial style grandstand (Figure 4.4) by Messrs. Swan & Maclaren was significantly enlarged in 1956 to create symmetry either side of the clock tower and to accommodate an increasing number of racegoers. These racegoers were, however, only Turf Club members, horse owners, and high-ranking turf club staff, such as secretaries. It was not until 1960 that it was opened to the general public.

Swan & Maclaren ¹⁶ were and remain, a long-established and highly regarded architectural practice based in Singapore, with an impressive portfolio of work. This building marks the first substantial investment in the site after the topographical and landscaping that was necessary to form the racetrack.



Figure 4.3 South Grandstand in 1950s. (Source: Mark Bailey)

16 Swan and Maclaren, founded in Singapore in 1887.

The main grandstand was constructed by United Engineers Limited ¹⁷, with joinery works by Robinson Co. Ltd ¹⁸, lifts by Express-S.M.S ¹⁹ and furniture (teak armchairs) were made in Singapore by Frankel Brothers ²⁰.

Post-World War II, considerable investment was required to renovate the dilapidated grandstand and make good damage caused during the war. These works totalled SGD1,773,467 ²¹ and contributed to a significant operating deficit in the year following the recommencement of racing. The deficit was short-lived as the Club by the end of 1948 recorded a record annual turnover of SGD 15Million ²².

Since the early 1980s the grandstand has been altered regularly. Although the original steel structure has been retained, alterations have included the replacement of the clock tower, façade alterations facing the car park, addition of a new storey and roof, plus renovations in 2012 as part of the adaptive reuse. This contrasts with the later North Grandstand which has retained a higher degree of intactness.

Significant rooms within the grandstand include the Royal box and Press box.

17 United Engineers. (n.d.). About UE. <https://uel.sg/about-ue/>

18 London Fine antiques. (2021). Robinson & Co., Singapore. <https://www.londonfine.co.uk/pages/robinson-co-singapore>

19 BENO. (n.d.). A Guide to lifes in the UK. <https://beno.uk/lift/express.html>

20 Lisa Ginsburg. (2014). Worlds Apart in Singapore: A Jewish Family Story. https://asianjewishlife.org/pages/articles/AJL_Isue_15_Oct2014/AJL_Issue15_CoverStory_Worlds_Apart_in_Singapore.html

25 NewspaperSG. (2021). Turf Club. [https://eresources.nlb.gov.sg/newspapers/Digitised/Article/morningbune19480128-1.2.121?ST=1&AT=search&k=Turf%20Club%20Reports%20\\$1,600,115%20Deficit&QT=turf,club,reports,1600115,deficit&oref=article](https://eresources.nlb.gov.sg/newspapers/Digitised/Article/morningbune19480128-1.2.121?ST=1&AT=search&k=Turf%20Club%20Reports%20$1,600,115%20Deficit&QT=turf,club,reports,1600115,deficit&oref=article)

22 NewspaperSG. (2021). Singapore Turf Club. <https://eresources.nlb.gov.sg/newspapers/Digitised/Article/sundaytribune19481121-1.2.21?ST=1&AT=search&K=singapore%20turf%20club&P=3&Display=0&filterS=0&QT=singapore,turf,club&oref=article>

Post-independence buildings in Singapore comprise some of its most revered structures, and ones which represent the country's modern architectural heritage. Its emergence following Singapore's independence in 1965²³, represents a period where many Singaporean architects were liberated and able to experiment and express themselves through their work. The North Grandstand marks a break with tradition and it can therefore be seen as indicative of Independence but this may be a post-rationalisation since Brutalist architecture was pursued in Europe during a similar period.²⁴

The contribution that Independence makes to the significance of the site is primarily one of following a strong trend toward the growth of horse-racing as a popular spectator sport, which has two distinct components. The construction of the North Grandstand was the physical means of accommodating that growth, which arguably adopted an architectural style that was fashionable at the time. The second is the association of this building with greater openness and democracy, that is, the transformation of the once-private members' club to a public institution that anyone could belong to. This is not to say this would have occurred anyway.

In the period just before Independence and in the years following, a large number of buildings were constructed, many of them related to residential and institutional use. Often the designs were selected through competition where the architects' idealistic vision for a new future for Singapore was given free rein.

This rapid development was supported by the Urban Renewal Program, which in 1966 – just one year after Independence - was initiated to revitalise the city²⁵. Notable buildings during this time included the National Theatre (built in 1963, demolished in 1986), by Alfred Wong Partnership and the Golden Mile Complex (1974) by Design Partnership Architects.

23 Independence was declared on 9th August 1965.

24 See for example the work of Alison and Peter Smithson at Robin Hood Gardens, London, (completed 1972) and Denys Lasdun's National Theatre, London (1967-76).

25 Singapore Identity and Architecture, page 26.

Synonymous with this period of architecture, was design that gave prominence to the expression of structural elements over decorative, architectural features. In this regard, Singapore's post-independence architecture adopted an approach to design that was also seen in other parts of the World but it is clear that Independence marked a distinct shift away from the colonial genre. There was a determination to do things differently and to exploit the potential of "new" materials – reinforced concrete and large expanses of glass – and to respond to new programs in a more logical and pragmatic way. Tradition was out. The change was manifest in the comparison of Charles Ho's North Grandstand and Swan and Maclaren's South Grandstand built 50 years earlier. Although designed and completed 16 years after independence, the North Grandstand by Charles Ho is a late example of this style, and one that had continued his Brutalist style that is observed in Shaw Tower, completed earlier. In the context of examples across the city, both extant and demolished, and its date, the North Grandstand is exceptionally significant. The racecourse (Figure 4.4) including buildings were originally constructed at a cost of SGD 3Million.

The racecourse was officially opened by Sir Cecil Clementi on 15 April 1933. The course at Bukit Timah was made possible by significant landscaping that required the existing site topography to be levelled. Some 900,000 cubic yards of earth had to be cut and moved to form embankments ²⁶.

According to historical records ²⁷, the race track comprised three overlapping tracks. The main track was 8 ½ furlongs, the 2nd track was one mile round, and the 3rd track was 7 ½ furlongs. The tracks were built by Fogden, Brisbane and Co. The company was incorporated on 26 Jun 1930 but was deregistered in 2008. A Toro ²⁸ sprinkler watering system was introduced in 1976, which followed an earlier installation at the Selangor Turf Club ²⁹.

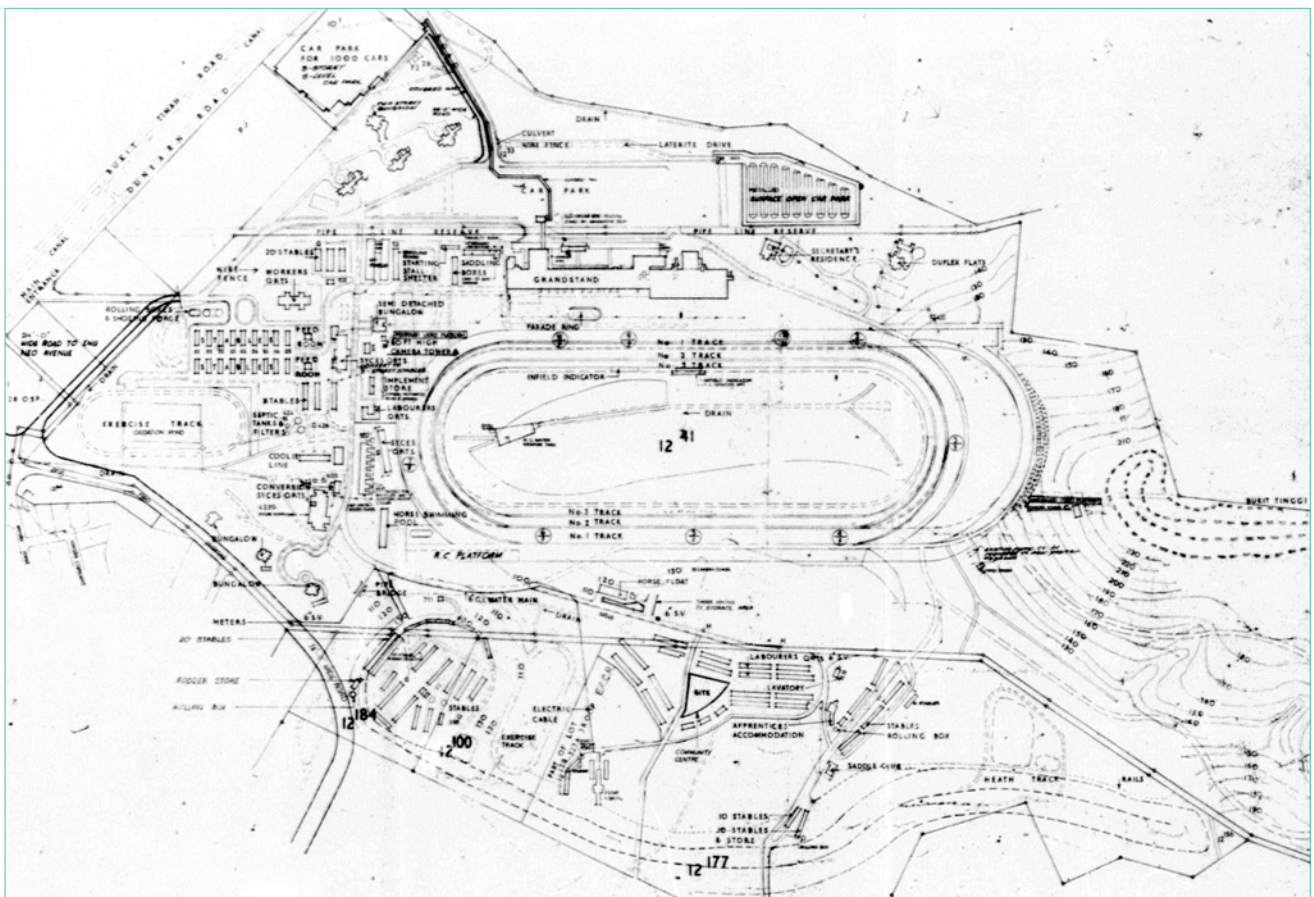


Figure 4.4 Racecourse Master Layout Plan (Source: Iversen Van Sitteren & Partners, 1981.)

26 The Straits Times, 15 April 1933, Page 21.

27 NewspaperSG. (2021). The Strait Times. <https://eresources.nlb.gov.sg/newspapers/Digitised/Article/straitstimes19330415-1.2.154.6>

28 Toro. (2021). About Toro. <https://www.toro.com/en/about>

29 New Nation, 11 April 1976, page 2.

By closer inspection of the 1963 aerial photograph (Figure 4.5) and a 1981 record plan (Figure 4.4), alterations to the racetrack that had been completed in 1977³⁰ can be clearly seen. The works comprised adding a new longer track which took almost two years to build (Figures 4.6 and 4.7). Aside alterations to the track, an adjacent hill was levelled off near the 800m post adjacent to the home turn.

The original track edge and site boundary treatments were also fundamental elements in defining the track and racecourse. They are therefore significant elements.

Since 1999, the original tracks have been built over, with the inner field being adapted to new sporting facilities.

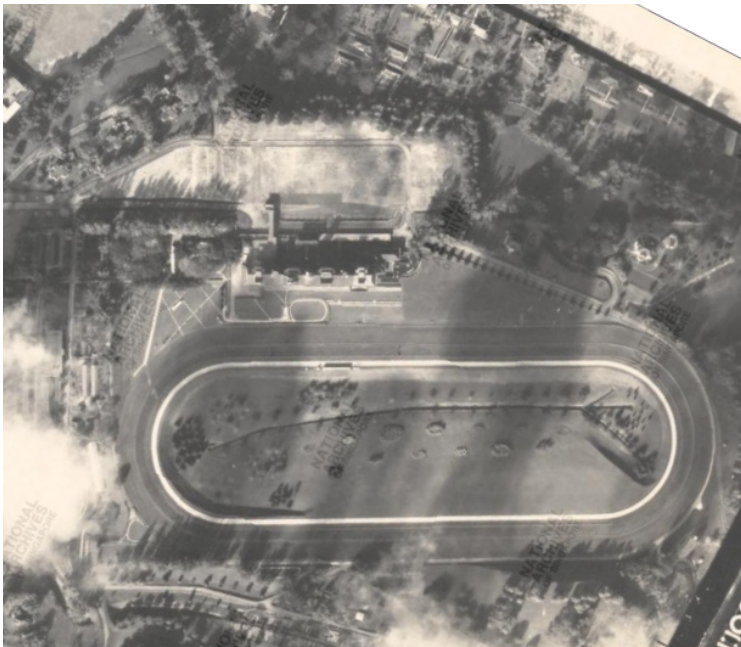


Figure 4.5 1963 aerial photo.



Figure 4.6 1993 aerial photo.



Figure 4.7 Overall view of the main track, date unknown. (Source: *The winning connection: 150 years of racing in Singapore*)

30 Source: <https://eresources.nlb.gov.sg/newspapers/Digitised/Article/newnation19770219-1.2.24?ST=1&AT=filter&K=turf%20club%20racetrack&KA=turf%20club%20racetrack&DF=&DT=&Display=0&AO=true&NPT=&L=&CTA=&NID=&CT=&WC=&YR=&QT=turf,club,racetrack&oref=article>

Traffic³¹ has blighted the course from day one. At its opening, the racecourse carpark was designed to accommodate 1,000 cars. The capacity was later expanded to 2,400.³² Accessibility within the racecourse was improved by the widening of the access roads to enable an increase in motorists arriving or exiting from the grandstands to Dunearn Road and Bukit Timah Road, but this did little to address the issues of long delay before and after races (Figure 4.8).

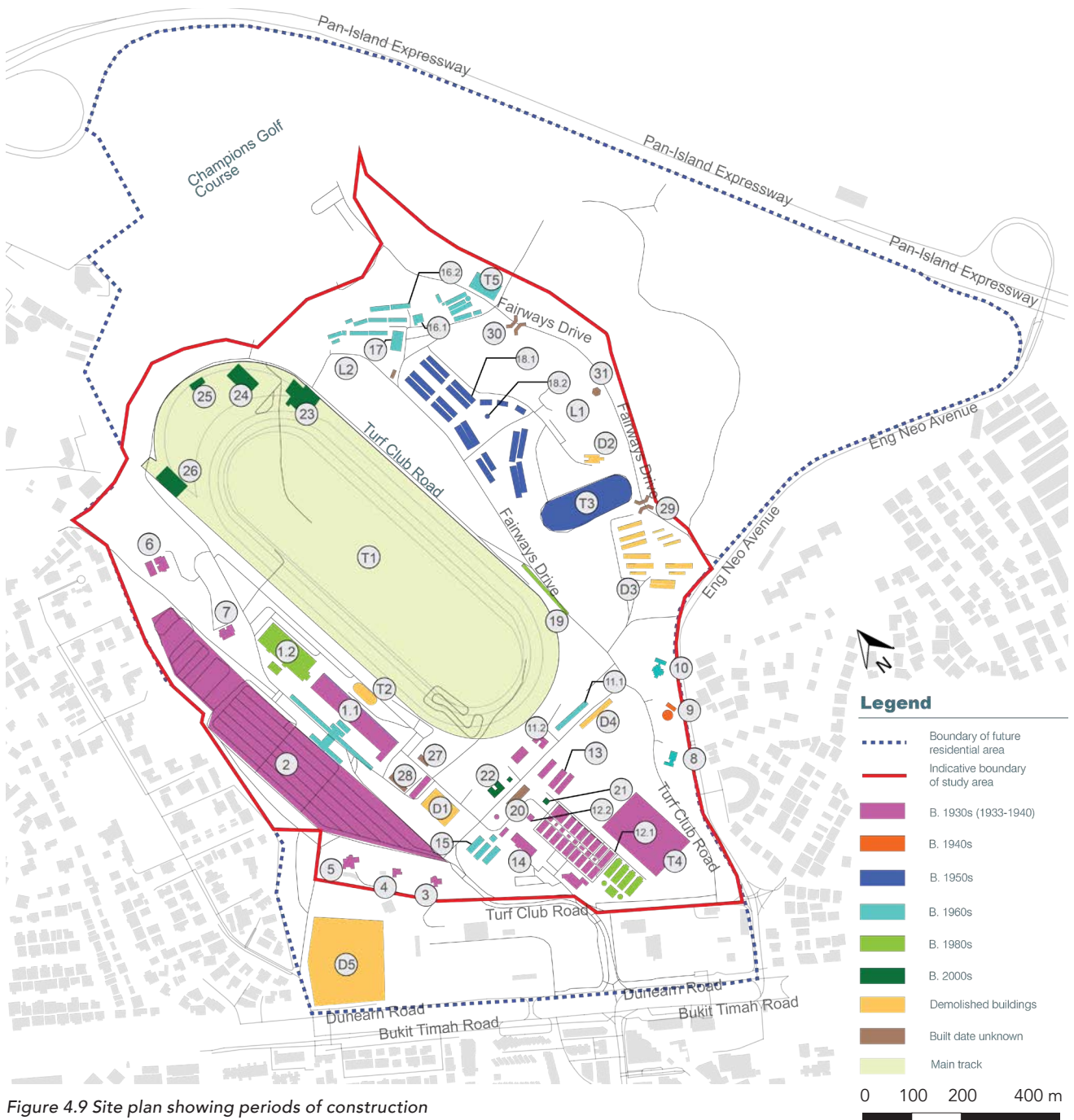


Figure 4.8 Traffic on race day – date unknown (Source: *The Winning Connection*, Page 134)

31 The traffic congestion is a useful measure of the popularity of horse racing.
32 170 Years of Racing. In Numbers, p.12

Support Facilities	Moderate
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The plethora of other buildings chart the development of the site during its operational life as a racecourse. The site plan (Figure 4.9) illustrates the evolution of the site. The architectural significance of these buildings varies, see Figure 4.25.



The residential buildings are substantial residences, some of which remain in use for that purpose (Building Nos. 7 to 10), whereas others have been adapted to new uses including, day care facilities (Building No. 3), treatment centre (Building No. 4) and a preschool (Building No. 5).

Building Nos. 3 (Figure 4.10), 4 and 5 (Figure 4.11) are a series of 1930s two-storey bungalows which appear to be influenced by contemporary Modernism in Britain, typically seen in seaside villas, through the strong horizontality, curved forms, and bands of windows. Features on the building have been adapted to suit the climatic conditions in Singapore including louvred windows and horizontal canopies to provide shading. This can be seen clearly in the comparison shown in Figure. 4.10 to 4.11 below.



Top: Figure 4.10 Building No. 3
Bottom: Figure 4.11 Building No. 5



Top: Figure 4.12 Example in Frinton, UK.
Middle: Figure 4.13 Example in Penarth, South Wales, UK. Source: Wowhaus. (n.d.). 1930s art deco proeject. <https://www.wowhaus.co.uk/2018/12/02/1930s-art-deco-renovation-project-in-penarth-cardiff-south-wales/>
Bottom: (left) Figure 4.14 Example in Brixham, Devon, UK. Source: The Modern House. (n.d.) Sunpark. <https://www.themodernhouse.com/past-sales/sunpark/>
Bottom: (right) Figure 4.15 Example in Aberystwyth, Wales, UK. Source: This is Money. (2014). Don't despair. <https://www.thisismoney.co.uk/money/mortgageshome/article-2541177/Dont-despair-water-damage-neednt-long-term-impact-value-home.html>

Building No. 6, which was the Secretary's Bungalow (later converted into duplex flats) (Figure 4.16) on the other hand is more conservative, with limited acknowledgment of the climate but it does have a pitched roof and broad eaves, yet fails to exploit the glorious vantage point overlooking the racecourse, for example by the use of generous glazing. The layout and the architectural design of No.6 matches the typical functions of "duplex flats"; for example, the external staircase was designed for the second-floor occupants to go upstairs without entering the ground floor unit.



Figure 4.16 Building 6

Building Nos. 7 (Figure 4.17) and 14.1 (Figure 4.18), are examples of 1930s vernacular bungalows with tropical design influence. Building No. 7 was the Deputy Secretary's residential accommodation, with Building No. 14.1 being the Workers' Quarters for employees of resident trainers.



Figure 4.17 Building 7



Figure 4.18 Building 14

Building Nos. 12.1 (Figure 4.19) and 15 (Figure 4.20) are stable blocks from the 1930s. Today, these buildings still form part of the equestrian facilities on the site, with the principal stable Building No. 12.1 being used by a sports academy, whereas Building No. 15 has an established Pet Centre. Both buildings are notable for their Marseilles tiled jack roof³³ which are designed to allow the heat to dissipate through the roof.



Figure 4.19 Building 12.1



Figure 4.20 Building 15

33 Jack roof: a pitched roof with a raised centre section to encourage natural air flow through the interior.

Building No. 16.1 (Figure 4.21) was originally designed to accommodate the Bukit Timah Saddle Club (BTSC). BTSC was set up in 1951 as a centre to re-train retired horses for events such as show jumping and dressage ³⁴. The club is a surviving tenant at the former racecourse and continues to be one of the leading equestrian centres in Singapore. It has over 40 trained horses and ponies; 100 loose boxes across 10 blocks; 13,000sq. metres of riding arenas; paddocks, shower and changing facilities for members and guests; as well as an equipment shop and food and drink facilities ³⁵.

Several secondary but significant buildings and facilities have been demolished in recent years. These include:

- Paddock Block (D1),
- Equine Hospital (D2),
- Stables (D3)
- Equine pool (D4)
- Parade Ring (T2)

Originally the site was designed to accommodate 250 horses but through various phases of expansion, the capacity grew to 700 horses ³⁶.

The loss of a number of equine buildings, and of course the racetrack, have combined to reduce the degree of intactness substantially, with a consequential impact on the site's contextual value.



Figure 4.21 Building 16.1

34 Bukit Timah Saddle Club. (2019). History of Bukit Timah Saddle Club. <http://btsc.org.sg/about-us/history/>

35 Bukit Timah Saddle Club. (2019). Facilities.. <http://btsc.org.sg/about-us/facilities/>

36 Tan, S. (1992). *The winning connection: 150 years of racing in Singapore*. P9; Singapore chronicles: A special commemorative history of Singapore. (1995). Hong Kong: Illustrated Magazine, p. 166. (Call no.: RSING 959.57 SIN-[HIS])

4.2 Historical Value

Singapore Turf Club (STC)	Exceptional
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History of racing

Racing origins in Singapore date to 1842 thanks to the enterprise and enthusiasm of William Henry Macleod Read, a merchant, and a group of sporting enthusiasts, who founded the Singapore Sporting Club on 4 October that year. The fact Macleod Read was a merchant is perhaps significant, Singapore having been founded by Stamford Raffles as a trading post barely a generation earlier. Such was their enthusiasm, the founders had built a grandstand and a racetrack on what was swampy ground which later became the Farrer Park Sports Complex. This initiative kick-started the development of horse racing in Singapore and transformed a previously unusable area of ground into something of high amenity value. The first race meeting was held on 23 – 25 February 1843, to mark the 24th anniversary of the founding of Singapore. This ties the establishment and development of horse racing and Singapore very directly, and it indicates the growing prosperity of the place given the substantial cost of racing horses and the ability and desire of punters to gamble on the races.

The narrative of the middle decades of the 20th century show that the STC and Bukit Timah were substantial players who were part of a close network of turf clubs in the region, which manifested itself in forms of regulation, resourcing of race meetings and above all, a passion for racing. Soon after the SE Asian turf clubs had founded – Singapore (1842), Perak (1884), The Hong Kong Jockey Club (1884), Selangor and Penang (both 1986), the desire for regional coordination was established:

“On 7 January 1896, the Straits Racing Association was formed to coordinate racing in Singapore, Kuala Lumpur, Penang and Ipoh.”³⁷

The SRA was later known as the Malayan Racing Association, which still exists today.

In order to capitalise on the demand for betting opportunities across the region (and presumably to even up the statutory rules applying to gambling): *“In 1961, cross-betting between the Club and the three racing clubs in Malaysia was started.”³⁸*

The significance of the appointment of Runme Shaw to chairmanship was likely not limited to his particular charisma, since social progression had begun many years earlier:

“For the first 25 years, horse racing was confined to Europeans and the Malay Royalty. Slowly, the increasingly wealthy Chinese community took an interest in the sport.”³⁹

37 Op. cit. p.25

38 Op. cit. p.11

39 Op. cit. p.24

Chinese business people soon caught on to the kudos to be obtained by sponsoring trophies.

Development of the industry clearly benefited from the “weight” afforded by STC and its racecourse at Bukit Timah.⁴⁰ In terms of resourcing the race meetings, a regional approach was clearly evident:

“By the end of the [nineteenth] century....riders... began taking part in races at the different centres. Horses were moved by coastal steamers, trains and, much later, lorry floats.”⁴¹

And somewhat later:

“Most of the jockeys riding in the local circuit in the 1930s were from Australia.”⁴²

The construction of the racetrack at Bukit Timah marked a substantial investment in horse racing. Some SGD 3Million was spent on building the new facilities and was later described as “*the finest in the East*”⁴³. It was opened by the then Governor of Singapore, Sir Cecil Clementi, in 1933.

Bukit Turf Club was subsequently established in March 1988⁴⁴ when it took over racing and Four-Digit draw operations. The Singapore Turf Club had been dissolved earlier in the month. After the Singapore Totalisator Board (“Tote Board”) was set up by the Government to oversee the operations and income of horse racing and totalisator betting, Tote Board appointed the Bukit Turf Club as its agent to take over from the Singapore Turf Club in 1988.

Ownership of STC

The purpose of the new Act⁴⁵ was reportedly “...to control, income from horse racing and the four-digit draws amounting to over \$30million annually”. In effect this brought the Club into public ownership.

The STC simultaneously operated as a profit-making body for the benefit of its (restricted) membership whilst also functioning as an agent of the regulatory authority (the Tote Board). It was a highly successful business model that had over the years contributed considerably to charities and other good causes.

The Singapore Totalisator Board Act came into effect on 1 January 1988, which was soon to have substantial implications for the STC. The STC’s role as regulator on behalf of the Tote Board was transferred to the Bukit Turf Club, which among other things ushered out the exclusivity that had applied to membership hitherto and replaced it with a non-restricted membership.

40 The crowd capacity at Bukit Timah was larger than its contemporaries and approximately double that of its successor at Kranji.

41 Op. cit. p.25

42 Op. cit. p.30

43 Tan,S. (1992) *The Winning Connection – 150 years of Racing in Singapore*. P10.

44 Tan. (n.d.). Singapore Turf Club. https://eresources.nlb.gov.sg/infopedia/articles/SIP_136_2004-12-30.html

45 The Singapore Totalisator Board Act, 1988.

Naming of STC

In respect of the Club identity, the original Club, the Singapore Sporting Club was renamed as Singapore Turf Club in 1924. During the late 1980's, the Tote Board renamed the club as the Bukit Timah Turf Club ⁴⁶. In 1994, the name "Singapore Turf Club" was reinstated.

46 NewspaperSG. (n.d.). Turf Club. <https://eresources.nlb.gov.sg/newspapers/Digitised/Article/straitstimes19880407-1.2.61?ST=1&AT=search&k=turf%20club%20record%20entries%20stakes%20profit&QT=turf,club,record,entries,stakes,profit&oref=article-related>

Role during World Wars	Moderate
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The original racecourse at Farrer Park was used to raise money for the War effort during World War I. A total of SGD78,000 was donated by STC, alongside a further SGD198,000 raised through lotteries⁴⁷.

With the area falling to Japanese occupation on 11 Feb 1942, racing stopped. Bukit Timah was a strategically important site to the Japanese due to its natural terrain. As a hill, it provided a look out over downtown Singapore. The main water catchment area was also located here.

The Japanese put down most of the stabled horses, but thoroughbred horses were shipped to Japan⁴⁸. Changes made at Bukit Timah included the grounds being trenched and filled with obstacles to prevent Japanese planes from landing. The Southern grandstand was used as a hospital first by the British military, then the Japanese during their occupation. Under the Japanese, the stables and workers' quarters were used as military car parks. After liberation, the site was a military transit centre.

Racing finally resumed on 25 November 1947 following a programme of repair works to the racecourse (see Figure 4.22), grandstand (see Figure 4.23), and other buildings. The club was also able to re-engage many of the staff from the pre-war years. Bukit Timah Racecourse benefited from an attitude of considerable determination in the post-war years, as did many places around the world after the defeat of the Axis powers and the end of hostilities.

The immediate post-War years perhaps also created another kind of determination – one of enjoyment. Upon its reopening in 1947, Club membership was in high demand: "A small army of clerks worked overtime daily to cope with the flood of applications. There were so many fresh ones that the Committee had to put a stop to further applications. Hotels reported heavy bookings for hundreds of visitors from Malaya..."⁴⁹

In summary, historical value derives from the association with the site's appropriation as a military hospital, first by the British and latterly the Japanese. Post-liberation it was used as a transit camp.

47 Singapore chronicles: A special commemorative history of Singapore. (1995). Hong Kong: Illustrated Magazine, p. 166. (Call no.: RSING 959.57 SIN-[HIS]; Tan, S. (1992). *The winning connection: 150 years of racing in Singapore*. P9.

48 Singapore Chronicles

49 Swan and Maclaren, founded in Singapore in 1887.



Figure 4.22 Post War view of racecourse. (Source: Mark Bailey)



Figure 4.23 Post War view of South Grandstand. (Source: Mark Bailey)

Bukit Timah Racecourse

Moderate

The 1st generation racecourse was constructed in 1843 at what is Farrer Park today. With the original course unable to match the growth in popularity of racing, the 2nd generation racecourse was commissioned. With the original course at Farrer Park being unable to match the growth in popularity of racing, the 2nd generation racecourse at Bukit Timah was commissioned. A W Vick and G R Holden Webb were instrumental in this and in finding the land on the Bukit Timah Rubber Estate, which was part of the wider Chasseriau estate. The racecourse design was based on other courses that existed at the time in Bombay, Rangoon, and Kuala Lumpur. The course at Bukit Timah took 6 years to construct from 1927 to 1933, with the first race being held on 15 April 1933. The racecourse therefore has both historic and social significance.

The racecourse was extended in the early 1950s when the Club purchased 30 Ha of land along the eastern boundary of the site. The then chairman, Mr H.C. Reilly said:

*“the Eastern boundary of the club’s property was too close to the racetrack and such proximity might sometimes prove a handicap as the land might be developed in a manner injurious to the Club interests and the welfare of horse’.*⁵⁰

While the position of the racetrack has remained the same, the last major alteration to the racecourse was the addition of the North Grandstand in 1981. At its peak, the South and North Grandstands could accommodate up to 60,000 spectators and was run by 550 permanent staff, with an extra 900 temporary staff on race days.

Although the racecourse (Figure 4.24) is no longer in use, and despite the loss of the race tracks themselves, the layout can still be partially understood by the configuration of Turf Club Road. The inner field can also still be perceived despite the growth of the trees and alterations and redevelopment of the infield as a sports academy.

The grandstands were converted to new use in 1999, when they were reopened under the name, ‘Turf City Mall’. In 2012, the current tenants, Cogent Land Capital rebranded the structures as ‘The Grandstand’. The last tenanted use is primarily commercial spaces and offices.

Many of the support buildings such as stables, paddocks, the equine hospital, and the Parade Ring (T2) have been demolished. The Exercise Rings (T3 and T4) still survive.

⁵⁰ The Singapore Free Press, 22 April 1950, Page 8

Despite the retrofitting works associated with the conversions to new uses, the buildings have retained their architectural integrity. Further work to remove adverse elements, such as ill-considered service routes, and to make good elements of the external features, particularly the footprint of the racetrack, should be considered. This would help to re-establish the spatial relationships between the primary buildings where they are missing and to reinforce those that have been detrimentally affected by adaptations. This should be in the form of interventions to suit future development in a way that conveys an echo of the former and original use.

An Exercise Ring built for the Bukit Timah Saddle Club (T5) remains in use today. It hosted the 12th Southeast Asian Games Equestrian Dressage Competition in 1983⁵¹.

In 1993, plans were published that indicated that of the 1732Ha of land that comprised the Bukit Timah Planning Area, 1117 Ha was allocated for residential land use⁵². A further plan for the site was produced in 1998 which outlined the site for residential use⁵³. However, the plan proposals were not implemented. Instead, facilities at Bukit Timah Racecourse were repurposed and put to interim use. Under the title, Turf City, the grandstand buildings were converted and re-opened to the public in 1999. While only having an initial 10-year lease, the leases have been periodically extended. On 30th September 2021, the Singapore Land Authority (SLA) and the Urban Redevelopment Authority (URA) confirmed a final lease extension will be granted until the end of 2023, after which, tenants will have to vacate the site as agencies plan preparation works for future residential development at the site⁵⁴. Ahead of this, BTSC returned a portion of land to facilitate future transport infrastructure works.



Figure 4.24 View of infield from North Grandstand

- 51 Wikipedia. (2020). Equestrian at the 1983 Southeast Asia Games. https://en.wikipedia.org/wiki/Equestrian_at_the_1983_South_east_Asian_Games
- 52 Bukit Timah Planning Area Planning Report. Urban Redevelopment Authority, Singapore, 1993 p.14. <https://eresources.nlb.gov.sg/printheritage/detail/a6df00f7-dc31-451d-8520-700e8a140b85.aspx>
- 53 Afifah Darke. (2021). Turf Club tenants given final lease extension until end of 2023. <https://www.channelnewsasia.com/singapore/turf-city-tenants-lease-extension-2023-residential-development-2212961>
- 54 Afifah Darke. (2021). Turf Club tenants given final lease extension until end of 2023. <https://www.channelnewsasia.com/singapore/turf-city-tenants-lease-extension-2023-residential-development-2212961>

Contribution to Sports Racing

Moderate

Racing in Singapore

The first race at the Farrer Park racecourse was on 23 and 25 February 1843. The races took place to coincide with the 24th Anniversary of the founding of Singapore by Sir Stamford Raffles.

STC as a sporting institution quickly became an integral part of the regional horse racing scene. As reported in the Singapore Free Press and Mercantile Advertiser 12 November 1895, STC agreed to join the Straits Turf Club, which would align operational matters and thereby apply consistency across the industry on a regional basis. From 7 January 1896 the STC would be associated with several clubs across Southeast Asia as noted in section 3.1.

Reports at Annual General Meetings during the 1920s show increasing growth despite economic depression, which was sustained through to the 1950s even though events were suspended during WWII. By the mid-1950s income from stake money dipped across the region whilst the costs of owning a horse continued to rise, though the Bukit Timah Turf Club was the best performer among the Malaysian clubs ⁵⁵.

Racing at the outset was principally a recreation affair for Europeans and Malay Royalty. Jockeys were largely the owners. Horses were mainly Java Ponies ⁵⁶.

In 1896, with the formation of the Straits Racing Association (now the Malayan Racing Association ⁵⁷), horse racing became a professional sport, with official rules, control, and regulation.

In 1913 a Betting Ordinance was passed as a measure to oust illegal bookmaking.

In 1947, racing recommenced following the end of WWII. The sport continued to grow and in 1960, attendance at race meetings was opened to the public, who were able to attend at the time for an entry fee of SGD5.

A notable visit by the Royal Family happened in 1972, with attendees including:

- Elizabeth II, Her Majesty the Queen
- Prince Phillip, His Royal Highness Duke of Edinburgh
- Anne, Princess Royal

⁵⁵ The Straits Times 5 January 1958

⁵⁶ Livestock of the World. (n.d.). About Java Pony Horses. <https://www.livestockoftheworld.com/Horses/Breeds.asp?BreedLookupID=2638&SpeciesID=5&Screenwidth=960>

⁵⁷ Malayan Racing Association. (n.d.). Welcome to Malayan Racing Association. <https://www.malayan-racing.com/>

The Royal Family watched the inaugural Queen Elizabeth Cup with Mr & Mrs Runme Shaw with prize money of SGD35,000. This 1st race was won by the world-famous British professional Jockey, Lester Keith Pigott, OBE (Figure 4.23), on the horse *Jumbo Jet*, a New Zealand gelding. Lester Pigott also later won the Singapore Derby in 1979 on the horse *Saas Fee*.

The racing calendar at Bukit Timah included six major thoroughbred⁵⁸ races:

1. Singapore Gold Cup
2. Singapore Derby
3. The Raffles Cup
4. The Lion City Cup
5. The Queen Elizabeth II Cup
6. The Pest Sukan Cup



Figure 4.25 Queen Elizabeth II congratulating Lester Piggott in 1972 (Source: Ministry of Information and the Arts (MITA))

58 Thoroughbred horses date back to circa 1174 in England [expand] <https://en.wikipedia.org/wiki/Thoroughbred>

Racing internationally

In 1843 when racing was first introduced in Singapore, the sport was already prominent in the United Kingdom, the United States, India and Australia. By the time the racecourse at Bukit Timah was constructed, there were already other notable courses in the region, including those in Hong Kong, Rangoon, and Kuala Lumpur.

The establishment of the STC was pre-dated by The Royal Western India Turf Club (founded in 1800) and The Bombay Turf Club (formed in 1802), which the latter became known as the Western India Turf Club. Racing was initially at Byculla until 1883, but then moved to Mahalakshmi. Rangoon Turf Club was later founded in 1887. There had originally been a racecourse at Maidan, but the Club moved in 1926 to Kyaikkasan. Later still was the Sengalor Gymkhana Club which was established in the early 1890s. It was renamed Sengalor Turf Club in 1896. At this time the course was called Jalan Ampang. The course would later move in 1993 and was named Sungei Besi Racecourse.

The Hong Kong Jockey Club was founded in 1884 and has gone on to establish itself as one of the world's premier racing organisations and is a major employer⁵⁹ and source of charitable donations⁶⁰ in Hong Kong. Racing in Hong Kong began at a course in Happy Valley in 1846 which continues to this day, and it became a professional sport in 1971. Due to the success of racing, the Hong Kong Jockey Club opened a second racecourse at Shatin in 1978.

Further afield, racing origins in Australia date from 1810⁶¹, when European settlers first landed there. The first official horse race was held at Hyde Park in Sydney, New South Wales. The first club in Australia, The Sydney Turf Club was later formed in 1825. In 2011, the STC merged with the Australian Jockey Club (formed in 1842), to form the Australian Turf Club. Racing reached other states including Victoria in 1838⁶² where race meetings were held in Melbourne.

By contrast, racing in Great Britain is thought to have originated in 200AD. The first notable club, The Jockey Club, was established in 1750⁶³. In the United States, racing dates from 1665 and the first course was created at Salisbury, New York. The American Jockey Club was established in 1894⁶⁴.

Amateur racing also featured for a time at Bukit Timah. This proved popular whilst also offering horses close to retirement an opportunity to continue racing in a less competitive format⁶⁵.

When considering Bukit Timah Racecourse / Singapore Turf Club in a regional and/or worldwide context, it for a long time set the benchmark for improvements within the Malaysian⁶⁶ racing industry. Its significance is therefore higher at a regional level compared with the global context.

59 The Hong Kong Jockey Club. *The Charities Trust*. Source: <https://charities.hkjc.com/charities/english/charities-trust/index.aspx>

60 The Hong Kong Jockey Club. *How We Work*. Source: <https://corporate.hkjc.com/corporate/english/how-we-work/index.aspx>

61 The Australian Racing Report. (2021). Australian Horse Racing Early History. http://www.australianracingreport.com/history_racing_nsw.html#:~:text=NEW%20SOUTH%20WALES%20%2D%20Sydney's%20first,a%20racecourse%20in%20January%201833.

62 eMelbourne. (n.d.). Horseracing. <https://www.emelbourne.net.au/biogs/EM00722b.htm>

63 Wikipedia. (2021). Horse Racing in Great Britain. https://en.wikipedia.org/wiki/Horse_racing_in_Great_Britain

64 Wikipedia. (2021). Horse Racing in the United States. https://en.wikipedia.org/wiki/Horse_racing_in_the_United_States

65 The Jockey, June 1980

66 The Singapore Free Press, 11 August 1947, Page 7

The granting of permits in 1981 for the first female jockeys to ride was a progressive development for women in sport in Singapore. The first occasion is a notable historical event; however, the primary significance lies in the social significance that permitted women to compete on equal terms with men. Despite considerable improvement in the recognition of women in sport, racing remains one of very few where women and men compete together.

According to Mr Jegadesan Mukayah Pandaram, who was a maintenance manager:

“STC started the Star Academy in 1980 at the Bukit Timah then at Kranji racetracks to train locals (Ex-NSF) to become Syces, Jockeys, Horse-riders and Blacksmith. It also hired trained personnel as track staff from CUGE and Polytechnic”.⁶⁷

Although the academy moved to Kranji, the connection with equestrian use on the site remained through the BTSC who ran a successful club offering its members well trained horses and ponies and the use of facilities such as the Exercise Ring (T5) for horse training and competitions across events such as dressage and show jumping.

⁶⁷ Singapore Memory Project. (n.d.). Beginnings of Singapore Turf Club. <https://www.singaporememory.sg/contents/SMA-ed-a026bb-1c9b-452f-9d5f-1e4c710387fc>

Association with organisations and individuals

Moderate

The Bukit Timah Racecourse is associated with the following notable people who were involved in the development and expansion of racing in Singapore:

William Henry Macleod Read ⁶⁸

Macleod Read led a group of sporting enthusiasts in the establishment of Singapore Sporting Club on 4 October 1842. Within just five months, a grandstand and track had been established at the first racecourse, at Farrer Park. William was a partner in the merchant firm of A L Johnston and Co. Macleod Read also founded the Sailor's Home and organized Singapore's first rowing regatta. ⁶⁹

A W Vick and G R Holden Webb

Both held the chairmanship position around the time the racecourse at Bukit Timah was constructed. However, both had departed Singapore before the course opened in 1933.

H C Reilly

Reilly led the two-year rebuilding and reopening of the course after WWII.

L.J.C Bailey

Bailey was the secretary of the STC from 1948 to 1961 when it was a private club. His duties included managing racing laws. STC during this period was largely run by a committee formed mostly of Scottish expatriates who oversaw running STC as a business.

Lim Chong Pang

During the 1950s, Lim Chong Pang led Chinese interest in racing. He was himself a successful horse owner, running his own stables – Hennessy Stables ⁷⁰.

⁶⁸ Vernon. (n.d.). William H. Read. https://eresources.nlb.gov.sg/infopedia/articles/SIP_138_2005-01-22.html

⁶⁹ Ralph. (2020). History of Gambling in Singapore. <https://www.onlinecasinosg.com/history-of-gambling-in-singapore-from-the-colonial-period-to-independence/>

⁷⁰ Singapore Chronicles.

Tan Sri Runme Shaw

Chairman and Founder of the Shaw Organisation (Singapore). Runme Shaw was the first Asian chairman of the STC. This showcased the social progressiveness of STC. Later his nephew, Shaw Vee Meng would be a prominent committee member of STC. Other notable committee members included, Loke Wan Tho, Tan Sri Tan Chin Taun and Rajabali Jumabhoy.

As Chairman of STC for 19 years, Runme Shaw turned the 'sport of kings' into a major source of funds for cardiac, cancer, liver and paediatric medical research, homes and orphanages, hospitals, and associations for the disabled.

It was also his tenure at STC that Runme cultivated his love of horses particularly racehorses. He owned some 70 thoroughbred stallions, each of whom he named after his cinemas. These horses have won practically every major race in Singapore.

During his tenure as the Chairman, Queen Elizabeth II and Duke of Edinburgh Prince Philip visited the Turf Club in 1972. Singapore Queen Elizabeth II Cup; was introduced in 1972 to mark the State visit to Singapore by Her Majesty The Queen Elizabeth II. A capacity field of 20 top-class stayers lined up for the race run at Bukit Timah, and was won by *Jumbo Jet* ridden by jockey Lester Piggott.

Runme Shaw was also instrumental in the development of STC in the early 1980s with the building of the North Grandstand and other facilities. Shaw's time at the helm was highly successful. The confidence placed in him to lead the Club demonstrates a genuine commitment to equality of opportunity at a time when racial prejudice was still a commonplace.

Racing Figures

As a long-standing racing institution there are several prominent individuals and organisations who have been associated with the place that are of importance, not only in Singapore, but world-wide. In particular:

- Lester Piggott, OBE ⁷¹ (arguably the most significant international jockey to ride at Bukit Timah).

⁷¹ Lester Piggott, OBE, is former English Jockey who amassed 4,493 career wins and British Flat racing champion 11 times across a period of 1960 to 1982. His wins included 9 Epsom Derbies, 6 Oak, 8 St Leger, 2 1000 Guineas and 5 2000 Guineas victories. In addition to his profile success in the Great Britain and Ireland, he also rode successful races across Europe, including France, Germany, and Italy, and further afield in Singapore and the United States.

Architects

Swan & Maclaren (South Grandstand)

Swan & Lermit as originally known, was formed in 1887. Following the withdrawal of Lermit from the partnership in 1890, Swan (Archibald Alexander Swan) & Maclaren (James Waddell Boyd Maclaren) was established in 1892. As the oldest architectural practice in Singapore, by the time the South Grandstand was designed, they had already designed several colonial landmarks, including Raffles Hotel (1899) and Victoria Memorial Hall (1905). Another of the key architects in the practice and who was involved the design of the grandstand was the English born, Regent Alfred John Bidwell.

Charles Ho (North Grandstand)

Charles Ho, a Singaporean architect, and his partner Low Yew Kee had in 1970 bought out the firm, Iversen Van Sitteren & Partners (IVSP). IVSP had originally been founded by Berthel Michael Iversen in 1936, together with the architect S.H van Sitteren. IVSP had offices across Malaysia including Singapore, Penang, and Kuala Lumpur.

Despite the buyout, Ho continued to run the practice in Singapore under the original registered business name. Prior to completion of the grandstand in 1981, Ho had designed other notable Singapore landmarks including the 'Brutalist' icon, Shaw Tower, which opened in 1976.

Ho's wife, Lesley, was not known at all except for her role as a director of the Singapore International Film Festival from its inception in 1987 to 2007 ⁷². She was Australian and trained as a Landscape Architect. She (re)designed the landscape at the South Grandstand.

72 Yip, W.Y. (2017). Former Singapore International Film Festival director Lesley Ho dies of cancer, aged 77. <https://www.straitstimes.com/lifestyle/entertainment/former-singapore-international-film-festival-director-mrs-lesley-ho-dies-of>

4.3 Communal and Social Value

Horse Racing	Moderate
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In his Foreword to the commemorative book *The Winning Connection – 150 years of Racing in Singapore*⁷³, the Chairman of Bukit Timah Turf Club, E W Barker, said:

“Horse racing has carved a special and important niche in the world of sport. The compelling drama, colour, exhilaration and sheer beauty of the Sport of Kings has fired the imagination and captured the hearts of millions of racing enthusiasts around the world. Its appeal knows no boundaries.” “Today, Bukit Timah Racecourse ranks as one of the finest racing complexes in the world.”

The following is summary of major development including prize money, race meetings and trophies⁷⁴:

Singapore Gold Cup (2,200 metres), 1924-now (except 1942-1947)

- The jewel in the crown of the local turf.
- The first Singapore Gold Cup was run on 18 October 1924, at Farrer Park Racecourse and carried a prize of \$1,600.
- Over the years, prizemoney for the Singapore Gold Cup has risen dramatically. From \$1,600 in 1924, it went up to \$61,500 in 1973.
- The Singapore Gold Cup was sponsored for the first time ever in 1991. Piaget, the renowned Swiss manufacturer of luxury timepieces, sponsored \$200,000 of the total prizemoney of \$600,000. The 1992 Piaget Singapore Gold Cup will be worth an all-time high of \$700,000.

Singapore Derby (2,400 metres), 1959-now

- One of the oldest feature races on the local turf. Longest race at Bukit Timah Turf Club.
- The first Singapore Derby was run in 1880. Prizemoney was \$150. The race was contested by ponies from China.
- The club revived the Singapore Derby in 1959 after an absence of 49 years. The prize money was \$15,000.
- The 1984 winner Win-Em-All, ridden by English jockey Jim Bleasdale, clocked a record time of 2:27.6, which remained unbroken.

73 Tan, S. (1992) *The Winning Connection: 150 years of racing in Singapore*. Foreword
74 All extracts from *“The Winning Connection: 150 years of racing in Singapore”*.

Lion City Cup (1,200 metres), 1974-now

- Introduced in 1974.
- Prizemoney for the race was given a big boost in 1990 when it was raised to \$250,000, making it the richest sprint in the local circuit.
- The Lion City Cup started as a handicap race but since 1991 has become a weight-for-age event.

Raffles Cup (1,600 metres), 1991-now

- Introduced in 1991 and held annually in November.
- The distance was altered from 1,600 to 1,800 metres in 2001.
- The original prize money was \$250,000, whereas it was \$500,000 in 2021.

Queen Elizabeth II Cup (2,000 metres), 1972-now

- Inaugurated in 1972 to mark the State visit to Singapore by Queen Elizabeth II. Ran over the same distance as the Singapore Gold Cup.
- The winner was the all-conquering Jumbo Jet ridden by Lester Piggott.
- The total prizemoney for the Cup was then \$36,000.
- The race was sponsored for the first time in 1989. It was worth a total of \$200,000 in prizemoney (the sponsor contributed \$100,000).

Pesta Sukan Cup (1,400 metres), 1970-1993 (Silver Cup came in)

- Introduced in 1970 as a staying race, then was shortened to a middle-distance event and since 1991, it became a sprint.
- In 1981, Australian Irene Pateman created history by becoming the first woman jockey to win a major feature race when she captured this Cup astride Pegasus II.

Singapore St Leger (1 $\frac{3}{4}$ miles), 1952-1964

- It was a true test for out-and-out stayers. But the St Leger was such a taxing race that there was always a lack of entries

Racing was evidently very popular despite the cost of owning a horse, particularly a thoroughbred. At the same time, racing was readily adaptable to gambling, which made it attractive to people of all walks of life who were looking to have "a flutter" on the horses. Others, presumably, were content to enjoy the spectacle of it all.

Despite the heroic words of the Turf Club Chairman in 1992, the site closed just seven years later, and horse racing continued at Kranji. The driver for the move appears to have been the operational problems associated with the Bukit Timah site. It would be reasonable therefore to conclude that the move to Kranji in 1999 was a positive development at least in the sense that publicly accessible horse racing was able to continue to thrive.

Gambling

In Singapore, the regulation of racing began with the formation of the Straits Racing Association in 1896, latterly the Malayan Racing Association (MRA). In 1913 the Betting Ordinance further regulated gambling.

The development of organized games and 'field sports' such as horse racing brought the focus of attention first to the Esplanade and then, additionally, to the racecourse. The first cricket match was held on the Esplanade before 1837. The 'sport of kings' followed shortly after, when in 1842 the Singapore Sporting Club was founded to promote horse racing and trading. Horses were very important as a means of transport and as a source of recreation and entertainment. The first racecourse at Farrer Park was originally a wide stretch of swampland - an area that was also dedicated to rifle practice. The Sporting Club thus became the first institution to promote sporting activities. Significantly, the constitution of the Sporting Club also permitted the involvement in club events of the more wealthy Chinese animal owners. Riders and trainers likewise made their way to the Sporting Club from around the region. Men of material wealth or social standing, including Chinese towkays⁷⁵, dictated the scale and nature of the activities. The only people with regular opportunities to participate actively were the Europeans and the wealthy Chinese. Seasonal race meetings organized by the Sporting Club featured the "Governor's Cup", the "Celestial Plate" and the "Singapore St. Leger". In Hong Kong, Manila, and Saigon the pattern was similar. The wealthier and more influential Chinese such as Hoo Ah Kay (better known as Whampoa) became involved through ownership of horses. The influential citizens and officials decided who should be included within the convivial confines of the early clubs. They created their own rules, and administered their own events.

75 A business owner.

Up to 1999, legalised gambling in Singapore was limited to horse racing conducted by STC, the Singapore Sweep lottery and 4D and Toto games operated by Singapore Pools ('Pools'), and certain types of gaming in private clubs. All other forms of gambling were illegal. However, since 1999, Pools introduced football betting to Singapore as well.

The administrative development of the STC, particularly in its role on behalf of the Tote Board, mitigated the adverse side effects of gambling, to the benefit of punters and arguably wider society.

A rationalisation exercise held in early 2004 resulted in Pools and the STC both coming under the purview of the Tote Board. Pools also took over all of STC's retail outlets.

World War 1

The use of the former racetrack at Farrer Park during WW1 to raise money for the War effort demonstrates a high degree of social awareness on the part of STC (then known as the Singapore Sporting Club) to keep people's spirits up through entertainment whilst directly supporting the Government in its pursuit of military success. It is another example of the interconnectedness of the Turf Club, its racing venue, and the governance of the country.

Charitable activities

According to *The Winning Connection – 150 years of Racing in Singapore*⁷⁶ STC has reinvested surplus revenue into the community by funding various arts, community, and charitable activities. Over many years, donations were made to a variety of charitable causes, which included the funding of scholarships overseas for the benefit of Singaporeans. It demonstrated a sustained commitment to the community that was outward-looking and internationalist that regarded Singapore as a significant player in the region and the wider world.

76 Tan, S. (1992). *The winning connection: 150 years of racing in Singapore*. P11.

The public connection

Engagement with the public evolved during the early post-War years. For example, the introduction of race days on Sundays in 1959 (which meant racing was held on both weekend days) and opening to the public in 1960 each enabled working people to enjoy the sport. The ticket cost at the time was SGD4.00. Membership to the Club at Bukit Timah was free, but members had to pay an annual subscription as well as a fee to enter the members' enclosure.

While it had started as a personal initiative among a few wealthy business associates, horse racing in Singapore experienced rapid growth in popularity marked ultimately by the North Grandstand in 1981 and the resultant capacity of some 60,000 spectators.

The construction of the North Grandstand coincided with the establishment of microwave links that enabled races at Bukit Timah to be broadcast live across Malaysia ⁷⁷.

At Bukit Timah, the typical yearly calendar was 32 race days. This comprised eight weekends, with two races each on Saturday and Sunday. Just before the site's closure, the first Singapore Racing Carnival Weekend and Ladies' Day was held in 1997 ⁷⁸.

Aside from those devoted racegoers, visiting the racecourse, particularly on non-race days, required the general public to make a concerted journey out to Bukit Timah. The relative isolation of Bukit Timah drove the Club to introduce offers to attract a new generation of racegoers and public visitors, including both locals and tourists.

Bukit Timah Racecourse has also hosted a variety of non-sporting events. These include the World Orchid Conference on the 3rd October 1963 ⁷⁹. It was during the 1980's that tours of the course on non-race days was introduced, as well as dining packages within the grandstand facilities ⁸⁰.

The Bukit Timah site retained a high degree of both public and private accessibility through the commercial and leisure enterprises, and the connection to equestrian activities via BTSC that continued to train horses and stage competitions at the site. In general, the social value of the site is now modified by its appropriation as a multi-purpose leisure venue following the relocation of horse racing to Kranji in 1999.

77 Tan, S. (1992). *The winning connection: 150 years of racing in Singapore*. P9.

78 MUSE SG No. 39 Volume 12 Issue 01

79 NewspaperSG. (n.d.). Singapore Turf Club, Orchid Festival Show. <https://eresources.nlb.gov.sg/newspapers/Digitised/Article/straitstimes19630303-1.2.28?ST=1&AT=search&k=orchid%20festival%20show%20singapore%20turf%20club&QT=orchid,festival,show,singapore,turf,club&oref=article>

80 NewspaperSG. (n.d.). Turf Club Tourists. <https://eresources.nlb.gov.sg/newspapers/Digitised/Article/newpaper19891007-1.2.13.1?ST=1&AT=search&k=turf%20club%20woos%20tourist%20tummy&QT=turf,club,woos,tourist,tummy&oref=article#>

Through the interrelationship between the historical and aesthetic values described above, Bukit Timah Racecourse provides a strong association in the collective memory of local people who were racegoers/ spectators, and for those who worked there through the 20th century within the equestrian and horse racing sector.

Oral history interviews were conducted to assist mapping the historical and contemporary social significance of the Bukit Timah Racecourse. This included people who were connected with the site, including:

- previous and current users of the site;
- Charles Ho, architect of the North Grandstand; and
- Mark Bailey, son of a previous Secretary of the Singapore Turf Club during the 1950's.

4.4 Contextual Value

Buildings	Moderate
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There is a strong element of group value associated with the extant buildings, however, the balance of assessment of significance between individual and group should be assessed according to the prevailing characteristics. For example, the North and South Grandstands can be considered both individually and as a group, whereas the bungalows derive their primary character as stand-alone structures. There are also extensive distant views from the site, which is an important characteristic of the site's aesthetic value.

Chapter 2.0 and 3.0 provide details of the contextual value of individual buildings but in summary terms the site combines elements of functionality, operational zoning, and aesthetic setting designed to exploit the potential of the site. Most buildings are orientated orthogonally with the race track, the exceptions being the bungalows, where orientation according to the sun path and views are more important. The southern end of the site is predominantly the working area of the site, comprising stables, living quarters for workers and syces, flanked east and west by some of the earlier bungalows. The Secretary's Bungalow (both the earlier and later incarnations) are sited at the north end, beyond the North Grandstand, which affords them considerably greater space and separation from everyday operations. Substantially greater areas of stabling are located at the east and north east dating from the later 20th century (the former now demolished). Interposed between these two clusters, roughly parallel with the east side of the race track, is a large area give over to labourers' quarters and the community centre. All these blocks are, for the most part, randomly disposed on the site. Most recently, sporting facilities have been constructed within the footprint of the race track at its north end.

Landscape	Moderate
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Bukit Timah is a reference to Singapore's highest hill ⁸¹. This was important during WWII as the site provided a natural lookout over downtown Singapore.

Bukit Timah area was originally a wild forest before becoming nature reserve in 1883 by Nathaniel Cantley, then Superintendent of the Singapore Botanic Gardens. Part of it was later converted into a Rubber Estate due to economic pressures. In 1927, STC purchased a part of the Estate to develop the racecourse.

In order to create the racecourse, the site had to be levelled, drained, and cleared of trees and tall bush. The trees that survived the re-landscaping have become significant due to their age. The whole of the site is included in the Central Tree Conservation Area (TCA)⁸² There does not appear to be a register of trees located within the TCAs, however, they contribute substantial contextual value. Botanically, the plant population of the site is important in the general sense however no records of items of exceptional interest has been found⁸³. A separate study on the environmental baseline and impact of the proposed redevelopment is being conducted.

The Bukit Timah Railway Station was built near the racecourse in 1932. Due to its proximity to the racecourse, the railway station served as an unloading point for racehorses (NHB, 2021).

The ravine that traverses the footprint of the race track is an interesting fragment of the site's apparently natural topography and character however this will need to be verified by comparison of early and current maps and geological investigation.⁸⁴ It may be for example, that the "ravine" is merely a by-product of the levelling that was carried out to accommodate the race track that has become naturalised over the years. There clearly was substantial work in this area: "The going was heavy especially in the valley area where the southern bend of the track now is. The contractors also had to...fill valleys to create level land."⁸⁵

81 MUSE SG No. 39 Volume 12 Issue 01

82 Singapore has two Tree Conservation Areas – the Central TCA and the Changi TCA. These were gazetted on 2 August 1991. The felling of any tree within a TCA with a girth greater than one metre is subject to the approval of the Commissioner of Parks Recreation.

83 Searches to date have not revealed a State-wide botanical register.

84 It may be for example, that the "ravine" is merely a by-product of the levelling that was carried out to accommodate the race track that has become naturalised over the years.

85 The Winning Post: 150 years of racing in Singapore, p.28.

Key View No. 1 & 2 (V1 & V2)	Exceptional
------------------------------	--------------------

Viewpoint No.1 is at the entrance point to the Grandstands from Turf Club Road, where the two grandstands and racecourse are dramatically revealed. It marks a strong sense of arrival. Later developments have impaired this view, including alterations to the South Grandstand in 1956 and 1981, erection of the North Grandstand in 1980 and remodelling of the multi-storey car park in 1987.

Viewpoint No.2 is located at the seating deck in the north grandstand looking towards the main racetrack and the backdrop of forested landscape beyond. This view presents the physical and spatial connection between the grandstand and the racetrack and the wider context. This view was the primary outlook for racegoers on race days and it has remained largely unaltered since the establishment of the course. The extension of the course and the construction of the north grandstand and the maturation of the forest has strengthened these characteristics.

These two viewpoints are located at publicly accessible areas, which therefore provide substantial collective memory of the site for former racegoers and visitors. Their significance is exceptional.

Key View No. 3 & 4 (V3 & V4)	Moderate
------------------------------	-----------------

Viewpoints 3 and 4 are more exclusive, focusing on views from significant residential properties which were occupied by the Secretary and Deputy Secretary. When first constructed, those residing in these residential properties were afforded glorious un-interrupted vantage points overlooking the racecourse.

Viewpoint No.3 is from the former Deputy Secretary's bungalow (building no.7). Looking towards the main racetrack. This view has been impeded by the construction of the North Grandstand. Located further north, viewpoint No.4, from the former Secretary's bungalow (building No. 6) had a superior view of the racetrack. This view has been restricted by the growth of vegetation around the plot, which conversely, afforded the bungalow greater privacy from the public when the carpark was extended toward it.

Both viewpoints clearly illustrate the rationale behind the buildings' design and strategic orientation affording those that helped run the site unique views of the racecourse. Since these were not publicly accessible views, the significance is therefore lower than viewpoints 1 and 2 and are rated as moderate.

The location of views of V1 to V4 are illustrated in Figure 4.26.

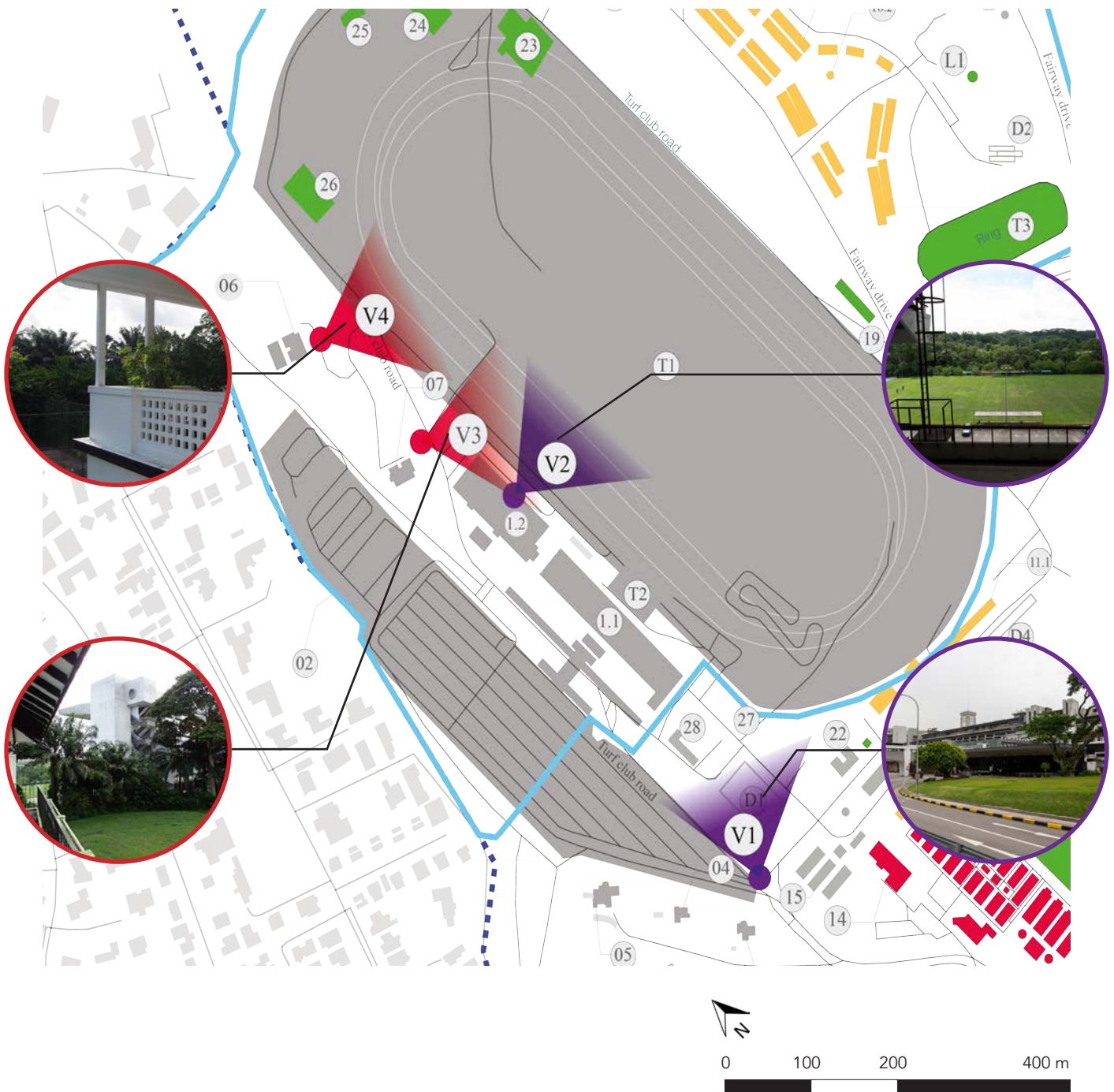


Figure 4.26 Indication of key viewpoints and their significance.

4.5 Scientific Value

In addition to the values discussed across 4.1 to 4.4, scientific value (as defined in Table 4.1 and 4.2) can also be attributed to the Bukit Timah Racecourse as follows:

Technology	Moderate
------------	-----------------

The racetrack at Bukit Timah made several innovations, some of which were “firsts” in the racing industry.

The growth in popularity and its manifestation with the development of Bukit Timah brought with it associated improvements to the spectator experience and the conduct of races. In 1976, racing at Bukit Timah was first broadcast in colour. This required the installation of a new system costing \$250,000, which included the addition of special zoom tele-photo TV cameras to capture the racecourse and paddock area ⁸⁶.

In 1978 the Omega Photo Finish System was installed, in which cameras would log the duration of each race and pinpoint the finish time of each horse to within 1/10th of a second, presumably making the examination of photos *per se* of secondary importance.

In 1981, a microwave link was established between Bukit Timah and Malaysia to enable live transmission of races held on the mainland to be enjoyed by racegoers in Singapore. Apart from the technological significance of this, it shows the extent of social value and Bukit Timah’s place in what was at the very least a regional phenomenon.

Three more innovations followed in quick succession during the 1980s: first, the erection of a giant outdoor TV screen some 18 metres x 6 metres so racegoers could follow the action more closely without the need for binoculars. Next, installation of an Eidophor screen in the Inquiry Room so that adjudications could be conducted with greater certainty of a fair outcome. And lastly in the decade, the establishment of compulsory urine and blood tests of horses to check for doping.

These events show that STC was in the vanguard of improvement in the industry and Bukit Timah was the place where they first happened.

86 New Nation, 11 April 1976, Page 2

Table 4.1 below summarises the significance level of the various values discussed in this section.

Value	Significance Level*
Aesthetic or Architectural Value	
The Site	Exceptional
North Grandstand	Exceptional
South Grandstand	Exceptional
Post-independence Architecture	Moderate
Racecourse	Moderate
Support facilities	Moderate
Historical Value	
Singapore Turf Club (STC)	Exceptional
Role during World Wars	Moderate
Bukit Timah Racecourse	Moderate
Contribution to Sports Racing	Moderate
Equestrianism	Moderate
Association with organisations and individuals	Moderate
Communal and Social Value	
Horse Racing	Moderate
Contextual Value	
Buildings	Moderate
Landscape	Moderate
Key View No.1 & 2 (V1 & V2)	Exceptional
Key View No.3 & 4 (V3 & V4)	Moderate
Scientific Value	
Technology	Moderate

Table 4.1: Summary table of significance level of each heritage value.

* For the definition of significance level, refer to table 1.5.

4.6 Heritage Values attached to individual buildings/structures/spaces and assessment of significance

4.6.1 Provisional Assessment


The following section outlines:

1. basic building information;
2. an assessment of physical condition based on definitions set out in table 4.2;
3. the heritage values attached to each building/structure/open space;
4. an assessment of significance based on the attributes in table 1.5 in order to determine a significance banding
5. additional plates.

The assessment is based on limited available information and access to the site during the period of this heritage research study commission. A value with a score of zero is denoted as "NS" (non-significant).

Condition	Monitoring Indicator
Good	Performing as intended and operating efficiently.
Fair	Performing as intended but exhibiting minor deterioration.
Poor	Exhibiting major defects and/ or not operating as intended.
Very Bad	Life expired and/ or serious risk of imminent failure.

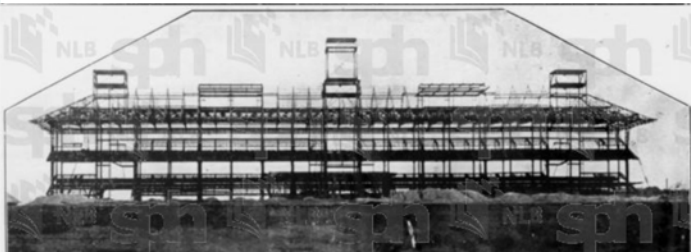
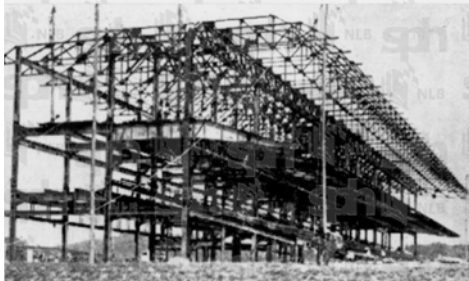

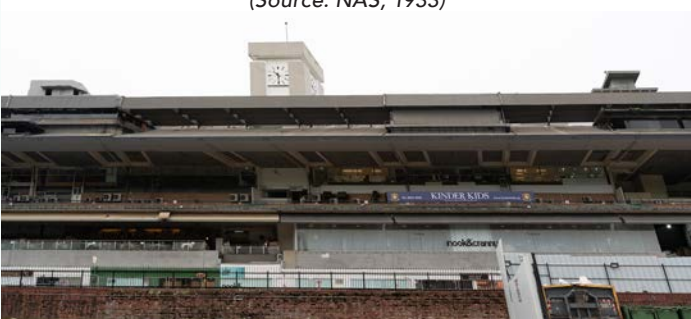
Table 4.2: Definition of terms used to describe the condition of buildings.

Building Information	
Building Number	1.1 (South Grandstand, 200 Turf Club Rd)*
External View	
Year Built	1933
Original Use	Grandstand to host crowds and offices.
Last Tenanted Use	Commercial (Shops, restaurants, preschools, tuition centres and offices)
Current Condition	Good


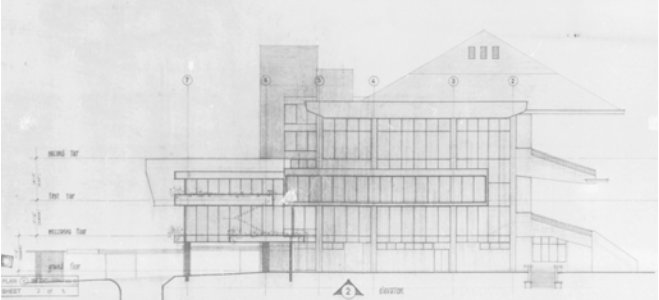
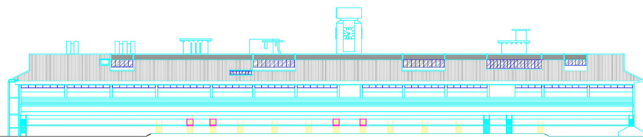

* To add an understanding of the significance, the coloured cell aligns with the significance level awarded in Table 4.3.

Assessment of Significance	
<p>Aesthetic & Architectural Value</p>	<p>Steel-frame structure with concrete floors, consisting of three tiers that rise to a height of around 25 m. Encased in a concrete canopy over the highest row of concession stands to provide shade.</p> <p>Originally built in 1933, later enlarged in 1956 symmetrically on both sides to accommodate larger crowds. Original clock tower was replaced by a new one in 1981.</p> <p>Roof modified to accommodate more seatings in 1981 with addition of a new storey, along with the construction of the North Grandstand. At this time, the elevation facing the car park was also refurbished with the addition of booth-shaped blocks.</p>
<p>Historical Value</p>	<p>Racing ceased during WWII and it was used as a hospital, first by the British military authorities, and then by the Japanese during their occupation. After liberation, it was used as a military transit centre.</p> <p>In poor condition at the end of the war, and a \$3 million renovation project was launched. Racing resumed two years after the war (1947).</p> <p>Visited by Tan Kah Kee (prominent political figure in Southeast Asia) in 1949, where he gave a speech raising his objections to America's support for Kuo Min Tang's war against the communists.</p> <p>Hosted several large-scale events, such as the International Orchid Festival Show (1963), Singapore Gardening Society's Flower Show (1964), Singapore Flower Show (1965 & 1966) and Horticultural Show (1970). These shows were visited by foreign dignitaries and Singapore's former presidents (Yusof Ishak, Ong Teng Cheong and Wee Kim Wee).</p> <p>Visited by the Queen and other UK Royals in 1972. Several other local and foreign dignitaries sat under its roof during their visit to the Bukit Timah Racecourse to watch races and attend events.</p>
<p>Communal & Social Value</p>	<p>Attended by racegoers after it was opened to the public in 1960. The only legal form of gambling at that time. On race days, it would attract huge crowds which resulted in massive traffic jams in Bukit Timah region.</p> <p>After renovation in 2012, the South Grandstand, along with North Grandstand, is used as a commercial and social space for the public, and a centre for sports academies and educational facilities.</p>


Assessment of Significance	
Contextual Value	<p>A physical and visual landmark of Bukit Timah Racecourse. Initially, the site consisted of undulating hills and trees. These were flattened and removed to accommodate the racecourse.</p> <p>Provided spectators with a panoramic view of the racecourse. Sitting near the parade ring gave the audience a chance to engage in the pre and post-race ceremonies.</p>

Additional Plates	Description
 <p>(Source: The Straits Times, 1933)</p>  <p>(Source: The Straits Times, 1933)</p>	<p>Steel-frame construction, able to be assembled and disassembled quickly. Constructed of British steel throughout, supplied by Redpath, Brown & Co., Ltd., and erected by United Engineers Ltd.</p>
 <p>(Source: NAS, 1933)</p> 	<p>Top: Front elevation upon construction in 1933. Original roof consisting of stewards' and owners' boxes.</p> <p>Bottom: Roof renovation carried out in the 1980s to accommodate more facilities for turf club members, such as Stewards Box, VIP Boxes, Meeting Rooms (Ho [pers. comm.], 2021).</p>

Additional Plates	Description
 <p data-bbox="344 495 625 517"><i>(Source: Mark Bailey, 1950s)</i></p>  <p data-bbox="384 779 592 801"><i>(Source: NAS, 1960s)</i></p>	<p data-bbox="852 237 1442 315">Renovation project was launched after World War II, including South Grandstand.</p> <p data-bbox="852 331 1442 600">Longitudinal extensions (symmetrical) on both sides of the South Grandstand made in 1956, adding two additional VIP boxes, refreshment facilities, sitting area and new totalisator points. Sitting capacity was increased to double.</p> <p data-bbox="852 616 1442 790">Extensions were made due to an increase in membership. There were 5,000 members in the 1930s, which exponentially increased to 15,300 in 1949.</p>
  <p data-bbox="352 1547 632 1570"><i>(Source: Mark Bailey, 1950s)</i></p>  	<p data-bbox="852 987 1442 1162">Bridge (1933) connecting the South Grandstand and the open-air car park. It was later linking the current multi-storey car park (1980s).</p> <p data-bbox="852 1227 1442 1503">Original bridge to segregate pedestrians and vehicles. Public transport and BTC shuttle buses were allowed to drop off directly outside the gate of the South Grandstand, where the ticket booths were located (Ho [pers. comm.], 2021).</p> <p data-bbox="852 1563 1442 1738">Large frame of roof constructed to provide weather protection with the entry ticket booths and taxi stands located away from the bridge flow.</p>

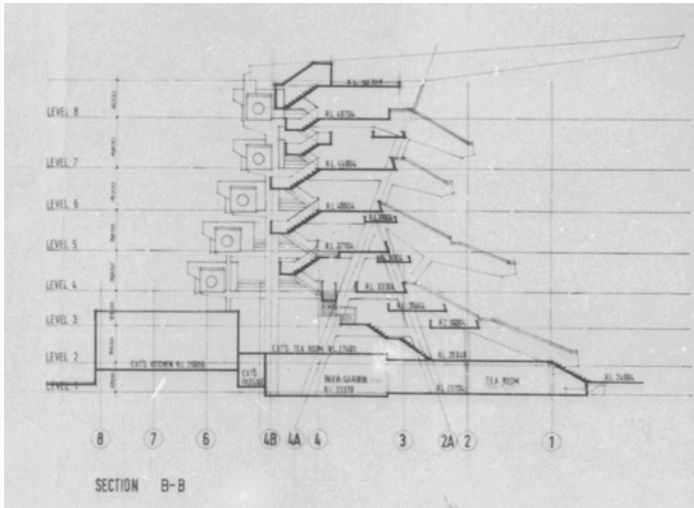
Additional Plates	Description
 <p data-bbox="327 965 655 994">(Source: <i>The Straits Times</i>, 1956)</p>	<p data-bbox="850 360 1082 394">Top: Clock tower.</p> <p data-bbox="850 409 1449 725">Currently non-functional, adaptation of the original design. Clock-face design changed and repainted to keep in line with the preventative maintenance and upgrading of the Grandstand. And, also for the need to be seen from afar for the punters (Ho [pers. comm.], 2021).</p> <p data-bbox="850 790 1449 920">Bottom: Original design of clock tower (1933). Original clock was supplied by Gent & Co., Ltd., of Leicestershire, UK.</p>
 <p data-bbox="256 1337 730 1366">(Source: <i>Iversen, Van Sitteren & Partners</i>, 1975)</p>	<p data-bbox="850 1178 1449 1256">South Elevation (facing the main entrance from Turf Club Road).</p>
 <p data-bbox="360 1626 624 1655">(Source: <i>Formwerkz</i>, 2012)</p>	<p data-bbox="850 1543 1353 1576">East Elevation (facing the Main Track).</p>
 <p data-bbox="360 1962 624 1991">(Source: <i>Formwerkz</i>, 2012)</p>	<p data-bbox="850 1890 1326 1924">West Elevation (facing the car park).</p>

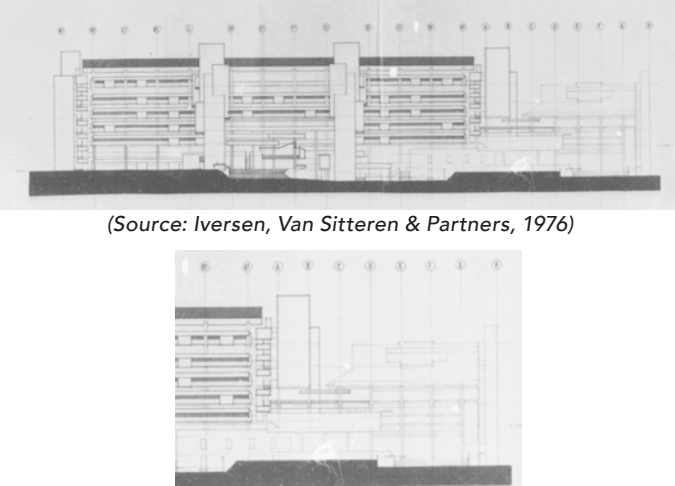

Additional Plates	Description
	<p>Addition of shops west of the South Grandstand (after the 2000s). Covering the landscaping behind, which was part of the original entrance experience.</p>
 <p data-bbox="352 1227 635 1256"><i>(Source: Mark Bailey, 1950s)</i></p>	<p>Addition of extensions (after the 2000s).</p> <p>Landscape reconstruction (after the 2000s).</p> <p>Balconies renovation, addition of enclosure (after the 2000s).</p>
 <p data-bbox="268 1693 716 1722"><i>(Source: National Museum Singapore, 1980s)</i></p>	<p>Landscaped area at the entrance of the South Grandstand. Constructed in the 1980s together with the North Grandstand.</p> <p>Parts of landscape design and horticulture works by Lesley Ho (wife of Charles Ho, architect of the North Grandstand). Landscaping further accentuates the grandeur of the main entrance.</p>
 <p data-bbox="392 2045 595 2074"><i>(Source: NAS, 1972)</i></p>	<p>Queen Elizabeth II, Prince Phillip, Princess Anne and other British Royals together with Mr & Mrs Runme Shaw in the VIP box (1972).</p>




Building Information	
Building Number	1.2 (North Grandstand, 200 Turf Club Rd)
External View	
Year Built	1981
Original Use	Grandstand to host crowds and offices.
Last Tenanted Use	Commercial (Shops, restaurants, preschools, tuition centres and office) rooms.
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>A diverse range of architectural influences is evident in the North Grandstand. The dramatic cantilever roof, the largest of its kind in Singapore, recalls structures such as Pier Luigi Nervi's first masterpiece, the Artemio Franchi football stadium in Florence, built in 1929-32, and the Zarzuela Hippodrome in Madrid, designed in 1934 by Carlos Arniches, Martín Domínguez and Eduardo Torroja.</p> <p>The modernist architectural language is exemplified by its structure and function. The roof provides ample shade from the sun.</p>
Historical Value	<p>Visited by local dignitaries such as former President of Singapore, Ong Teng Cheong in 1995, 1996, 1997 and 1998 as Guest-of-Honour of the Singapore Gold Cup Race; Fourth President of Singapore Wee Kim Wee in 1997; and former Defence Minister, Yeo Ning Hong also in 1997.</p> <p>Visited by former President of Namibia, Sam Nujoma in 1996.</p>


Assessment of Significance

<p>Communal & Social Value</p>	<p>Central attraction during race days, where racegoers gather. Prior to the opening to the general public, racegoers had been dominated by the upper class. The gatherings and races also serve as social networking events.</p> <p>Currently serving as a commercial lifestyle hub and social space for the public, a gathering point for nearby sports academies and educational facilities.</p>
<p>Contextual Value</p>	<p>A physical and visual landmark of the Bukit Timah Racecourse, which was the centre of the operations of STC.</p> <p>Built in 1981 in addition to the South Grandstand to cater to the increasing number of crowds since racing became increasingly popular in the 1970s.</p>

Additional Plates	Description
 <p>SECTION B-B</p> <p>(Source: Iversen, Van Sitteren & Partners, 1976)</p>	<p>South elevation showing the use of cantilevered roof covering the grandstand sitting area.</p> <p>The stairwell cores at the two ends provides stability to the roof cantilever and strength to the architectural elevation.</p>

Additional Plates	Description
 <p>(Source: Iversen, Van Sitteren & Partners, 1976)</p>	<p>Top: West Elevation facing the car park.</p> <p>Bottom: Section of covered walkway linking South Grandstand and North Grandstand.</p>
	<p>The side view of the deck. Railings, and the columns that support the deck.</p> <p>Parts of the seating areas partitioned by concrete. Layout changed to accommodate other usages.</p>
	<p>Circular and cylindrical elements on the side and rear show the stylistic influence of the Japanese metabolist school, while the massive trapezoidal vertical elements hint at the heroic structures conceived by the visionary Italian architect Antonio Sant'Elia.</p> <p>Windows angled to deflect the sun, reducing heat penetration and allowing good cross ventilation.</p>

Additional Plates	Description
 <p data-bbox="392 647 584 678">(Source: Tan, 1992)</p>	<p data-bbox="850 427 1441 510">VIP box for commentators, judges and guests.</p>
 <p data-bbox="392 1140 584 1171">(Source: Tan, 1992)</p>	<p data-bbox="850 857 1441 1032">East Elevation facing the Main Track. View during a race day. Designed to host up to 20,000 people together with the South Grandstand.</p>
 <p data-bbox="392 1626 584 1657">(Source: Tan, 1992)</p>	<p data-bbox="850 1413 1158 1444">Race day control room.</p>

Building Information	
Building Number	2 (Multi-storey car park, 210 Turf Club Rd)
External View	
Year Built	Originally built in the 1930s. Expanded as a multi-storey car park in 1987.
Original Use	Car park
Last Tenanted Use	Car park & Car Mall
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Two-storey reinforced structure consisting of the car park and Car Mall. The car park was originally open-air. The two-storey car park was built in 1987.</p> <p>Addition of planter boxes and curved railing to visually integrate with the green landscaping in front of the South Grandstand (before it was obstructed by present new extensions), and with the curved balconies respectively.</p>
Historical Value	The original construction in 1933 and expansion in 1987 of the multi-storey car park had witnessed the growing popularity of horse-racing in Singapore, and growing car ownership. During the racing event, the car park after its expansion could at most accommodate 2,900 cars compared to 1,000 cars in 1933.
Communal & Social Value	NS
Contextual Value	Sitting adjacent to the main entrance which provided the locational convenience for public visitors, syces, and horse owners to park the cars and enter the racecourse.

Additional Plates



(Source: NAS, 1955)

Description

Open car park before its expansion as a multi-storey car park in 1987.



The multi-storey car park (1987) was converted into a used car trading centre/ Car Mall in 2001 after racing operations were moved to Kranji.

Building Information	
Building Number	3 (Bungalow, 232 Turf Club Rd)
External View	
Year Built	Between 1933-47
Original Use	Housing for Turf Club executives
Last Tenanted Use	Daycare facility for children
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>This two-storey bungalow shows the influence of contemporary British modernism with its horizontality, curved forms, and bands of windows.</p> <p>Designed for tropical conditions. Louvred windows provide protection from the sun and rain when closed, while allowing ventilation. Top hinge ventilators maximise passive cooling.</p> <p>Currently covered with a zinc roof (originally covered with clay tiles).</p>
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Proximity to the car park and South Grandstand helps the executives overlook the Turf Club's operation.

* NS stands for Non-significant

Additional Plates

Description



Lean-to to the main elevation added in 2019.

Timber louvres from both windows and doors replaced with fixed glass.



Upper floor balcony infilled to accommodate new usage.


Upper floor open terrace transformed into a room.


(Source: Mark Bailey, 1950s)





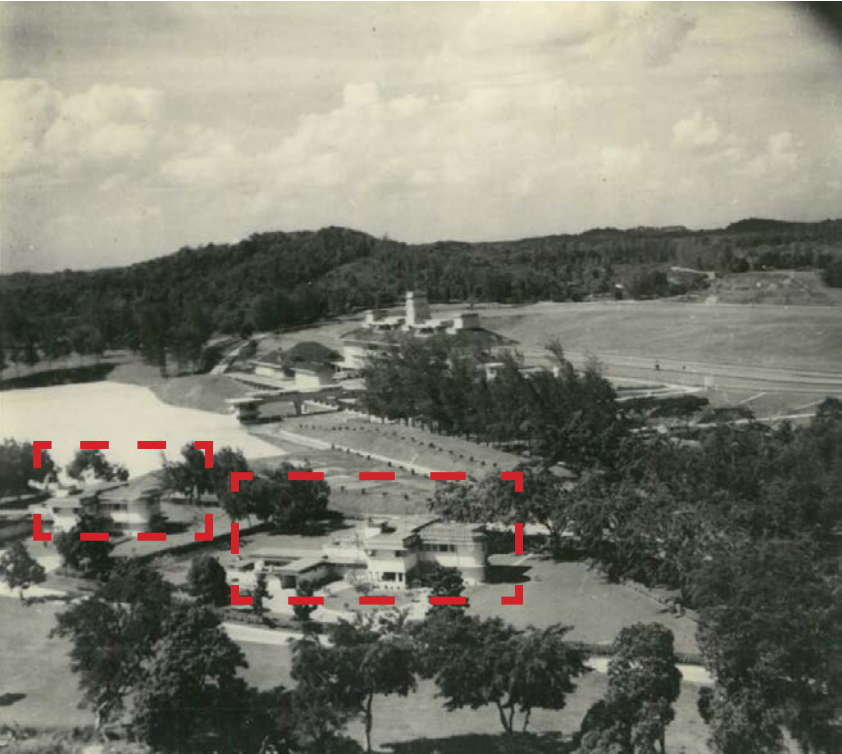



New fire escape created through original terrace (now converted into a room). Free standing metal staircase and railing were added later.





Free standing, single-storey structures added to provide extra space.


Additional Plates	Description
 <p>The top photograph shows a classroom bulletin board with children's drawings. One drawing says "What A Wonderful World". Above the board are two paper lanterns, one blue and one yellow. The bottom photograph shows a grey door with an octagonal window. The window has horizontal bars and a grid pattern. Below the window is a small sign that says "Holden is the falling".</p>	<p>Top: Original ventilation blocks now sandwiched between the original external wall and the later extension.</p> <p>Bottom: Original octagon-shaped opening.</p>

Building Information	
Building Number	4 (Bungalow, 234 Turf Club Rd)
External View	
Year Built	Between 1933-47
Original Use	Housing for Turf Club executives
Last Tenanted Use	Treatment centre
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Two-storey bungalow shows the influence of contemporary British modernism with its horizontality, curved forms, and bands of windows.</p> <p>Designed for tropical conditions. Louvred windows provide protection from the sun and rain when closed, while allowing ventilation. Top hinge ventilators maximise passive cooling. Currently covered with a zinc roof (originally covered with clay tiles).</p>
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Proximity to the car park and South Grandstand helps the executives overlook the Turf Club's operation.

Additional Plates	Description
	<p>Louvres and central pivot ventilators, indicative of tropical architectural elements.</p>
  	<p>Top: Original timber louvres of the door replaced with fixed glass panels.</p> <p>Bottom left: Added FRP lean-to roof</p> <p>Bottom right: Timber-framed, fixed glass panel central pivot window.</p>
 <p style="text-align: center;">(Source: Mark Bailey, 1950s)</p>	<p>Both bungalows, #232 & #234 were located at an elevated point without obstruction.</p>

Building Information	
Building Number	5 (Bungalow, 236 Turf Club Rd)
External View	
Year Built	Between 1933-47
Original Use	Housing for Turf Club executives
Last Tenanted Use	Preschool
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Two-storey bungalow shows the influence of contemporary British modernism with its horizontality, curved forms, and bands of windows.</p> <p>Designed for tropical conditions. Louvred windows provide protection from the sun and rain when closed, while allowing ventilation. Top hinge ventilators maximise passive cooling. Currently covered with a zinc roof (originally covered with clay tiles).</p>
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Proximity to the car park and South Grandstand helps the executives overlook the Turf Club's operation.

Additional Plates	Description
	<p>Later addition of two external steel staircases for fire escape. Windows sealed with fire-rated board.</p>
 	<p>Top: Original high-level openings with pre-cast cement frame.</p> <p>Bottom: Defunct brick chimney stack on the rear where the original kitchen must have been located.</p>
	<p>Original timber-framed, louvred window. Some louvred panels are being replaced with fixed glass panels.</p> <p>Original pebble-dash plastered facade.</p>

Building Information	
Building Number	6 (Duplex Flats, 192 Turf Club Rd)
External View	
Year Built	1933
Original Use	Secretary's Bungalow (In 1981 was converted into Duplex Flats)
Last Tenanted Use	Private Bungalow
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Symmetrical tropically-adapted colonial bungalow influenced by the local vernacular tradition and plantation house. Porch extended at the ground floor to provide spaces for gathering and used to serve as the drop-off point in the past. Archways on each side provide an experience of entrance. The covered balcony on the second floor provides the relaxed space to enjoy the views, and helps reduce direct sunlight.</p> <p>The pitched roof help enhance the cross ventilation for the occupiers.</p> <p>The brick chimney stacks in the rear annexe where original kitchens must have been located add to its architectural character.</p>
Historical Value	The suites had been the accommodation for secretaries of STC, including L J C Bailey who served from 1948-61.
Communal & Social Value	NS
Contextual Value	Located at the elevated vantage point to help overlook the Main Track.

Additional Plates	Description
 <p data-bbox="293 602 695 631"><i>(Source: NAS, 1959, Adapted by Author)</i></p>	<p data-bbox="852 264 1442 344">Elevated vantage points without obstructions from plantations.</p> <p data-bbox="852 409 1417 490">Left: Original Deputy Secretary's Bungalow (#198)</p> <p data-bbox="852 555 1423 584">Right: Original Secretary's Bungalow (#192)</p>
	<p data-bbox="852 721 1442 846">The annexe with kitchen and servants' quarters located at the rear of the main house.</p> <p data-bbox="852 911 1442 992">The brick chimney in the original kitchen is now defunct.</p>
	<p data-bbox="852 1305 1442 1386">Top left: Original wrought iron balustrades with timber handrailing.</p> <p data-bbox="852 1451 1398 1532">Top right: Cement ventilation blocks. Pebble-dash plaster with plaster grooves.</p> <p data-bbox="852 1597 1442 1767">Bottom: Blocked opening at the ground floor, staircase core. Note the difference in gravel size of the pebble dash plaster. The original gravel is smaller and more round.</p>

Additional Plates**Description**

Covered walkway connecting to servants' quarters and kitchen at the rear of the house.

Replacement ceramic floor tiles.

Building Information	
Building Number	7 (Secretary's Bungalow, 198 Turf Club Rd)
External View	
Year Built	1933
Original Use	Deputy Secretary's Bungalow (In 1981 converted into the Secretary's Bungalow)
Last Tenanted Use	Vacant
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Symmetrical tropically-adapted colonial bungalow influenced by the local vernacular tradition and plantation houses. The ground floor is paved with tiles to maintain nighttime coolness. Wide verandas and windows sheltered by overhanging eaves for protection from direct sunlight. High-pitched roofs allow rainwater to run off quickly, while drawing hot air upwards, to provide a cool and well-ventilated space for the occupiers.</p> <p>Brick chimney stacks in the rear annexe serving the original kitchens. Balconies on the upper floor, one of which has been enclosed.</p> <p>External staircase likely to be a later addition.</p>
Historical Value	Several deputy/ secretaries of STC resided in the building, including A H Todd, who died either in internment or during World War II.
Communal & Social Value	NS
Contextual Value	Elevated vantage point towards the Main Track.


Additional Plates	Description
	<p>Spacious entrance with metal gates leading to the bungalow, adding to its grandeur.</p>
 	<p>Top: Rear wing where the chimney is located. Possibly used as a kitchen and servants' quarters.</p> <p>Bottom: Later added staircase connecting 1st storey to 2nd storey balcony.</p>
 <p data-bbox="352 1576 632 1603">(Source: Mark Bailey, 1950s)</p> 	<p>Building was originally symmetrical.</p> <p>Upper level balcony later enclosed.</p> <p>Original timber-louvered windows replaced with metal framed fixed-glass panels.</p> <p>Bottom: Single lean-to-roof added on to the ground floor under the projected central part of the house at the later date (unknown) to create a verandah to augment the entrance.</p>

Building Information	
Building Number	8 (Bungalow, 32 Turf Club Rd)
External View	
Year Built	1960s
Original Use	Local trainers' dormitory
Last Tenanted Use	Vacant
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey building with pitched roof covered with clay tiles and extended roof eaves. Designed in response to tropical climate with pitched roofs for thermal dissipation. Covered verandah with extended eaves to augment the entrance.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Proximity to the exercise ring (refer to T4) that provides trainers convenience for horse-riding practice.

Additional Plates	Description
	<p>Defunct brick chimney stacks in the rear side where the original kitchen must have been located.</p> <p>Single leaf door with high level ventilation louvres.</p> <p>Replacement aluminium frame with fixed glass sliding windows.</p> <p>Original linear slit openings.</p>
	<p>Deep beam structure running across the horizontal plan of house.</p> <p>Internal archways served as linkages between rooms.</p>
	<p>Original double leaf timber doors.</p>

Building Information	
Building Number	9 (Bungalow, 34 Turf Club Rd)
External View	
Year Built	1940s
Original Use	Local trainers' dormitory
Last Tenanted Use	Vacant
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey building with pitched roof covered with glazed clay tiles and extended roof eaves. Designed in response to tropical climate with pitched roofs for thermal dissipation. Venradah at the front augments the entrance.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Proximity to the exercise ring (refer to T4) that provides trainers convenience for horse-riding practice.

Additional Plates	Description
	<p>Left: Original timber-framed windows with fixed glass panels. Most windows still have original ironmongery.</p> <p>Right: Windows in the living areas are fixed with secondary glazing internally.</p>
	<p>Original larder to store food.</p>
	<p>Covered walkway connecting the front and the rear wing of the house.</p>

Building Information	
Building Number	10 (Bungalow, 36 Turf Club Rd)
External View	
Year Built	1960s
Original Use	Local trainers' dormitory
Last Tenanted Use	Private residence
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey building with pitched roof covered with clay tiles and extended roof eaves. Designed in response to tropical climate with pitched roofs for thermal dissipation and openings for cross ventilation.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Proximity to the exercise ring (refer to T4) that provides trainers convenience for horse-riding practice.

Additional Plates

Description



Top: Original timber-framed windows with replacement fixed glass in place of timber louvres.




Bottom: Breeze blocks (currently sealed) both at high and low levels.







Covered linkway connecting the main house to the kitchen at the rear.




Original timber-framed louvred openings with upper panels with replacement fixed glass.


Building Information	
Building Number	11.1 (Syces' Quarters, 2 Turf Club Road)
External View	
Year Built	1970s
Original Use	Syces' Quarters
Last Tenanted Use	Educational (Nursery and preschool)
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Four-storey building with linear symmetrical building plan design. A typical example of the 1970s brick and concrete public buildings. Inexpensive and utilitarian, with en-suite rooms opening to common corridors.</p> <p>The facade facing the road is simple and elegant, with a strong horizontal emphasis. The rear facade faced with brick is also typical of the modern architecture of the period. This well-mannered building blends in well with the surrounding landscape. In the context of Singapore the setting of a modernist slab block right in the midst of such greenery is unusual and attractive. It is also the only post-war modernist multi-storey housing on the Turf Club grounds.</p>
Historical Value	NS
Communal & Social Value	NS
Contextual Value	<p>Built close to the Main Track and stables.</p> <p>Horse swimming pool (now demolished) was located at the rear of the quarters.</p>


Additional Plates	Description
	<p>Exposed brick and plastered west elevation. Ramp for greater accessibility added later.</p>
	<p>Original pipe sockets into which laundry poles were slotted.</p>
	<p>Original dormitory rooms are transformed into classrooms and cafe without any changes to the internal layout.</p>

Building Information	
Building Number	11.2 (Labourers' Quarters, 2 Turf Club Road)
External View	
Year Built	1950s
Original Use	Labourers' Quarters
Last Tenanted Use	Educational (Nursery and preschool)
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Single-storey building with pitched roof covered with red clay tiles and extended roof eaves. Designed in response to tropical conditions. U-shaped plan, inexpensive to build and purely functional design.</p> <p>Defunct brick chimney stacks where the original kitchen must have been located.</p> <p>Partial replacement of zinc roof.</p>
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Built close to the stables, providing the labourers proximity to take care of horses.


Additional Plates	Description
 <p>(Source: Google Maps, 2021)</p>	View of Labourers' Quarters, U-shaped plan is observed.


Building Information	
Building Number	12.1 (Stables, 100 Turf Club Rd)
External View	
Year Built	1933. Additions done in 1980.
Original Use	Horse stables. 18Nos. Blocks in 1933. 4Nos. Blocks, 2Nos. Rolling Boxes; and 2Nos. Stores were added in 1980.
Last Tenanted Use	Sports academy, preschool, gymnasium, riding school
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Single-storey, rectangular plan, post and beam construction. Infill brick walls and plaster. Interlocking clay tiled jack-roofs to enhance ventilation and give more light to the interior. Large spaces above the railings provide ventilation and lighting. Following renovation, walls of plastered brick, and doors were installed to create enclosed areas for human activities.</p> <p>Utilitarian buildings, dictated by their function as horse stables. Currently, front and rear elevations are enclosed by walls and windows to cater to changes in function, such as preschools, gyms, and sports academies.</p>
Historical Value	In 1933, the stables were built to hold around 252 horses. To cater to the growing operational scale, the stables during the peak era could accommodate over 750 horses (1970s-80s).
Communal & Social Value	NS
Contextual Value	Situated on the right of the main access road (present-day Turf Club Road). They are also nearby the Syces' Quarters, the paddock area and the local trainers' dormitory, which in the past provided proximity to take care of and train horses.


Additional Plates	Description
 <p data-bbox="352 607 632 636"><i>(Source: Mark Bailey, 1950s)</i></p>	<p data-bbox="855 412 1126 441">Stables in the 1950s.</p>


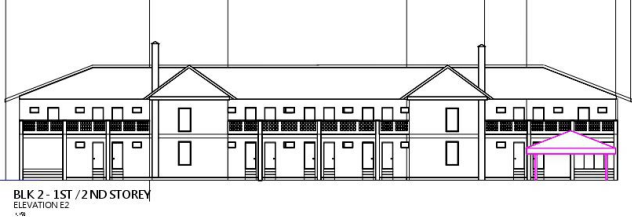
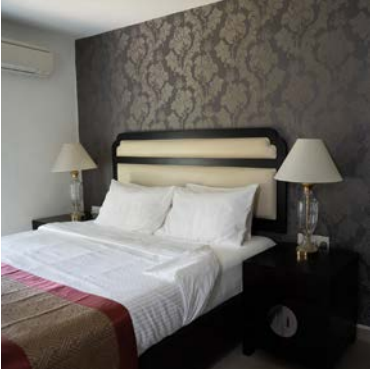

Building Information	
Building Number	12.2 (Feed room, 100 Turf Club Rd)
External View	
Year Built	1933
Original Use	Storage for horse feed
Last Tenanted Use	Art studio
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	2Nos. x single-storey building, square plan, symmetrical. No ornamentation, purely functional and economical to build. An example of utilitarian building design, dictated by its function as a feed room.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Nicely tucked in between original Workers' Quarters and stables' cluster. Central facility to store horse feed for nearby stables.


Additional Plates	Description
 <i>(Source: Google Maps, 2021)</i>	Two feed rooms from bird view.



Building Information	
Building Number	13 (Stables, 104 Turf Club Rd)
External View	
Year Built	Between 1933-47
Original Use	Stables
Last Tenanted Use	Educational (Preschool)
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey building. Rectangular in plan. Post and beam structure. Constructed with steel, brick, concrete, with tiled jack-roof which enhances ventilation and gives more light to the interior, ventilation blocks added to improve airflow. Pitched roof for thermal dissipation covered with interlocking red clay tiles and extended roof eaves, designed with tropical sensibilities. No ornamentation, purely functional and economical to build.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Situated nearby the Workers' Quarters, providing proximity to take care of and train horses.

Additional Plates	Description
	Original structure with partitions for stalls still in place. Front and back facade not plastered.

Building Information	
Building Number	14 (Workers' Quarters, 100 Turf Club Rd)
External View	
Year Built	1933
Original Use	Workers' Quarters
Last Tenanted Use	Lodge
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Colonial style architecture. Two-storey, post and beam, symmetrical building.</p> <p>Pitched roof for thermal dissipation covered with interlocking red clay tiles and extended roof eaves, designed with tropical sensibilities. Pitched roof sheltering the covered walkways on both long elevations.</p> <p>Chimneys on both the front and rear sides of the building. Chimney breasts were later removed to accommodate its last tenanted use as guest rooms. Interior tiles have been removed, exterior and interior walls repainted.</p>
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Situated adjacent to the stables, providing proximity to take care of and train horses.

Additional Plates	Description
 <p>(Source: NAS, 1957)</p>	<p>Aerial view of the Workers' Quarters in 1957.</p>
 <p>(Source: Archi-Theme Partnerships, 2013)</p>  	<p>Chimneys erected on both the front and rear of the building, originally used for the kitchens. Chimney breasts removed to accommodate its last tenanted use as guest rooms.</p>
	<p>Original timber roof trusses.</p> <p>Pre-cast cement parapet walls.</p>

Building Information	
Building Number	15 (Stables, 110 Turf Club Rd)
External View	
Year Built	1962-64 with significant additions in 1994
Original Use	<p>Two blocks of 20Nos. stables with Fodder Room, Shoeing and Wash-Bay. One block of 10Nos. stables were later demolished giving way for a new road.</p> <p>Three blocks of 30Nos. stables added in 1994. Designed by Alan F.C. Choe of RSP Architects Planners & Engineers.</p>
Last Tenanted Use	Pet centre
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Post and beam. Ventilation blocks under the gable roof. Clay roof tiled jack roof for thermal dissipation covered with interlocking red clay tiles and extended roof eaves, designed with tropical sensibilities. Simple rectangular plan, inexpensive to build and purely functional design.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Situated near the lunging yard and rolling box and also, the Workers' Quarters, providing proximity to take care of and train horses.


Additional Plates	Description
 <p data-bbox="180 483 470 510"><i>(Source: Google Earth, 2016)</i></p>	<p data-bbox="852 360 1437 488">Original rolling box structure. Octagon shaped roof structure is currently in a good condition.</p>
	<p data-bbox="852 808 1437 936">Original building (1994) structures still intact. Several external openings bricked up to accommodate present-day usages.</p>

Building Information	
Building Number	16.1 (Club house, 51 Fairways Drive)
External View	
Year Built	1962
Original Use	Club House for Bukit Timah Saddle Club
Last Tenanted Use	Restaurant and Bukit Timah Saddle Club's office
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Two-storey building on a sloping site, the upper storey elevated on slender columns. Influenced by plantation houses. Designed for tropical conditions. Pitched roof covered with red clay tiles. Extended on one side with a timber deck enclosed by verandahs and louvred double-leaf shutters which allow natural ventilation.
Historical Value	The club house has been managed by Bukit Timah Saddle Club, which was founded in 1951. The club allowed retired race horses to be ridden recreationally. Visited by former president of Singapore, Wee Kim Wee in 1988.
Communal & Social Value	Bukit Timah Saddle Club has been one of the leading equestrian facilities in Singapore since 1951. Even after the Turf Club was relocated to Kranji, it has taken over the root and cultivated the horse-racing scene and sports culture. The Saddle Club receives around 24,000 riders annually. The Club House has been a dining and social space for the public and Saddle Club members.
Contextual Value	Situated near the stables and the Labourers' Quarters, it used to be the nexus point for the club members and workers alike.

Additional Plates	Description
	<p>Front elevation facing Fairways Drive.</p> <p>Original structure still intact.</p> <p>Original timber frame windows with timber louvres. Fixed glass panels added later.</p>
	<p>Pitched roof for thermal dissipation. Louvres above doors presently sealed for aircon.</p>
	<p>Later extension (2-storey high) on the Northeast side of the building.</p>
 <p>(Source: Iversen, Van Sitteren & Partners, 1962)</p>	<p>Defunct chimney stack.</p>

Building Information	
Building Number	16.2 (Stables, 51 Fairways Drive)
External View	
Year Built	1962
Original Use	Stables
Last Tenanted Use	Stables
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey building. Rectangular in plan. Post and beam structure. Constructed with steel, brick, concrete. Pitched roof covered with cement tiles.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS

Additional Plates	Description
	Openings partially infilled with brick at the rear end.

Building Information	
Building Number	17 (Fairways Bungalow, 55 Fairways Drive)
External View	
Year Built	1960s-1970s
Original Use	Malayan Racing Association Apprentice Jockey Training School & accommodation
Last Tenanted Use	Preschool
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Modern two-storey bungalow with a pitched roof covered with interconnecting clay tiles, connected to the single-storey north wing. Pebble-dashed walls, painted white.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Located in the proximity of stables, and other facilities necessary for the apprentice jockeys to practice their skills. A mosque (now demolished) was built adjacent to the School.

Additional Plates

Description



West wing.
Round ventilation blocks under a gable roof.
Partial brick wall later plastered in pebble dash in 2016.
Ventilation fins, steel-framed windows, and single leaf door were later added.



Pitched roof for thermal dissipation. Added windows facing the south wing.



Extended north wing. Added aluminium frame casement windows with fixed glass panel.

Building Information	
Building Number	18.1 (Labourers' Quarters, 53 Fairways Drive)
External View	
Year Built	Between 1947-53
Original Use	Labourers' Quarters
Last Tenanted Use	Vacant
Current Condition	Fair
Assessment of Significance	
Aesthetic & Architectural Value	<p>Pitched roof for thermal dissipation covered with interlocking red clay tiles, extended roof eaves, designed for tropical conditions. Simple rectangular plan, inexpensive to build and purely functional design.</p> <p>Mild steel framed windows fixed with coloured translucent glass. Series of ventilation blocks stretched throughout the longitudinal elevation.</p> <p>After the relocation of STC in 1999, the quarters have not been occupied, leading to extensive damages to certain sections of roofs causing rainwater ingress.</p>
Historical Value	NS
Communal & Social Value	A closely-bonded community was formed in the Fairway Quarters among the Indian workers. The temple shrined with several deities (Sri Muthu Mariamman , Lord Vinayagar and Lord Murugar) was built inside of the quarters in 1956 by STC management, providing a spot for praying and gathering for Indian workers. The Indian community had held multiple traditional events annually that welcomed Chinese and Malay workers to celebrate together (Tamilsegar [pers. comm.], 2021).
Contextual Value	Built in close proximity to the now-demolished stables, close to the Main Track.

Additional Plates



Description

19Nos. blocks standing at the site.

Brick chimneys above kitchen.


Ventilation blocks under the gable roof.

Some windows blocked up.






(Source: Mark Bailey, 1950s)


Quarters in the 1950s.

Building Information	
Building Number	18.2 (Community Centre, 53 Fairways Drive)
External View	
Year Built	Unknown
Original Use	Multi-purpose room
Last Tenanted Use	Vacant
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey hexagonal building. Post and beam construction. Pitched roof covered with terracotta tiles.
Historical Value	NS
Communal & Social Value	A gathering place for the Turf Club workers and labourers. Also, used as a place for bands to play music for recreation and store goods.
Contextual Value	The building stands in the middle of a "reserve" green area, which served as a community gathering space for the nearby residing workers.

Additional Plates	Description
	<p>Red clay tiles imported from "<i>Guichard Carvin et Cie from Marseille St. Andre</i>". By the late 19th Century, Marseille Tiles, also known as French tiles, were imported by the colonial government to Singapore.</p> <p>The flat terracotta tiles with interlocking grooves were developed in Marseille in the 1850s. Guichard Carvin et Cie from Marseille St. Andre was one of the manufacturers whose roof tiles were widely used in Singapore. (URA, n.d.)</p>

Building Information	
Building Number	19 (Hay Barn)
External View	
Year Built	1980s
Original Use	Concrete Platform (roof added later, date unknown)
Last Tenanted Use	Antiques stores
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Long single storey, three-side open building abutting a slope. High-pitched roof with multiple tiers, supported by wooden brackets, covered with red clay tiles provides natural ventilation and coolness inside the building. High roof space was to leave space between stacks to allow the hay to breathe better. The building design reflecting the topography with the slope within the terrace.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS


Additional Plates	Description
 	<p>Top: Unusual roof in multiple tiers, supported by wooden brackets.</p> <p>Bottom: A section of the original brick retaining wall with weeping holes.</p>

Building Information	
Building Number	20 (Stables, 100 Turf Club Road)
External View	
Year Built	Unknown
Original Use	Syces' Quarters
Last Tenanted Use	Stables
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Three-storey building constructed with RCC. No ornamentation, purely functional and economical to build. Ramps are built for horse gait.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS


Note: No additional plates.

Building Information	
Building Number	21 (Basketball court shelter, 100 Turf Club Road)
External View	
Year Built	After 2000
Original Use	Basketball court shelter
Last Tenanted Use	Basketball court shelter
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Basketball court sheltered with a metal truss PVC tent. Temporary structure, easily assembled and disassembled.
Historical Value	NS
Communal & Social Value	After the relocation of the Turf Club, the Main Track and nearby land parcels were divided into several sites for sports activities. Since 2000, these fields together have become one of the few providers in Singapore that offer outdoor multi-sports and recreational activities for kids and adults. The site has accumulatively generated around 1 million usages from seasonal users per year. (Grier & Wen, 2020)
Contextual Value	NS


Note: No additional plates.

Building Information	
Building Number	22 (Tennis court shelter, Turf Club Road)
External View	
Year Built	After 2000
Original Use	Tennis court shelter
Last Tenanted Use	Tennis court shelter
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Purpose built light steel truss structures with metal sheet roofing. Steel columns to hold the pitched roof.
Historical Value	NS
Communal & Social Value	After the relocation of the Turf Club, the Main Track and nearby land parcels were divided into several sites for sports activities. Since 2000, these fields together have become one of the few providers in Singapore that offer outdoor multi-sports and recreational activities for kids and adults. The site has accumulatively generated around 1 million usages from seasonal users per year. (Grier & Wen, 2020)
Contextual Value	NS


Note: No additional plates.

Building Information	
Building Number	23 (Basketball court shelter, Turf Club Road)
External View	
Year Built	After 2000
Original Use	Basketball court shelter
Last Tenanted Use	Basketball court shelter
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Basketball court sheltered with a metal truss PVC tent. Temporary structure, easily assembled and disassembled.
Historical Value	NS
Communal & Social Value	After the relocation of STC, the Main Track and nearby land parcels were divided into several sites for sports activities. Since 2000, these fields together have become one of the few providers in Singapore that offer outdoor multi-sports and recreational activities for kids and adults. The site has accumulatively generated around 1 million usages from seasonal users per year. (Grier & Wen, 2020)
Contextual Value	NS


Note: No additional plates.

Building Information	
Building Number	24 (Sheltered sporting arena, Turf Club Road)
External View	
Year Built	After 2000
Original Use	Shelter for sporting area
Last Tenanted Use	Shelter for sporting area
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	<p>Purpose built light steel truss structures with metal sheet roofing. Steel columns to hold the pitched roof.</p> <p>Ground is paved with concrete.</p>
Historical Value	NS
Communal & Social Value	<p>After the relocation of STC, the Main Track and nearby land parcels were divided into several sites for sports activities. Since 2000, these fields together have become one of the few providers in Singapore that offer outdoor multi-sports and recreational activities for kids and adults. The site has accumulatively generated around 1 million usages from seasonal users per year. (Grier & Wen, 2020)</p>
Contextual Value	NS

Note: No additional plates.

Building Information	
Building Number	25 (Container blocks, Turf Club Road)
External View	
Year Built	After 2000
Original Use	Container blocks
Last Tenanted Use	Container blocks
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS


Note: No additional plates.


Building Information	
Building Number	26 (Indoor sporting arena, Turf Club Road)
External View	
Year Built	After 2000
Original Use	Shelter for sporting area
Last Tenanted Use	Shelter for sporting area
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	NS
Communal & Social Value	After the relocation of STC, the Main Track and nearby land parcels were divided into several sites for sports activities. Since 2000, these fields together have become one of the few providers in Singapore that offer outdoor multi-sports and recreational activities for kids and adults. The site has accumulatively generated around 1 million usages from seasonal users per year. (Grier & Wen, 2020)
Contextual Value	NS


Note: No additional plates.

Building Information	
Building Number	27 (Saddling Boxes, 200 Turf Club Road)
External View	
Year Built	Unknown
Original Use	Saddling boxes
Last Tenanted Use	Tennis Academy
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey building. Rectangular in plan. Post and beam structure. Pitched roof covered with clay tiles.
Historical Value	NS
Communal & Social Value	After the relocation of the Turf Club, the Main Track and nearby land parcels were divided into several sites for sports activities. Since 2000, these fields together have become one of the few providers in Singapore that offer outdoor multi-sports and recreational activities for kids and adults. The site has accumulatively generated around 1 million usages from seasonal users per year. (Grier & Wen, 2020)
Contextual Value	NS


Note: No additional plates.

Building Information	
Building Number	28 (Saddling Stalls, 200 Turf Club Road)
External View	 <p>(Source: Google Maps, 2021)</p>
Year Built	Unknown
Original Use	Saddling Stalls
Last Tenanted Use	Kindergarten
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Single-storey building. Rectangular in plan. Zinc Roof.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Situated beside the grandstand, functioning as the preparation station for horses before the races.


Additional Plates	Description
 <p>(Source: NAS, 1999)</p>	<p>Saddling Stalls in 1999, surrounding the paddock block where horses were being ridden before the race.</p>

Building Information	
Building Number	29 (Horse Bridge, Fairways Drive)
External View	
Year Built	Unknown
Original Use	Horse crossing
Last Tenanted Use	Horse crossing
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Simple beam bridge with concrete deck. Cost-effective design for horse crossing.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS

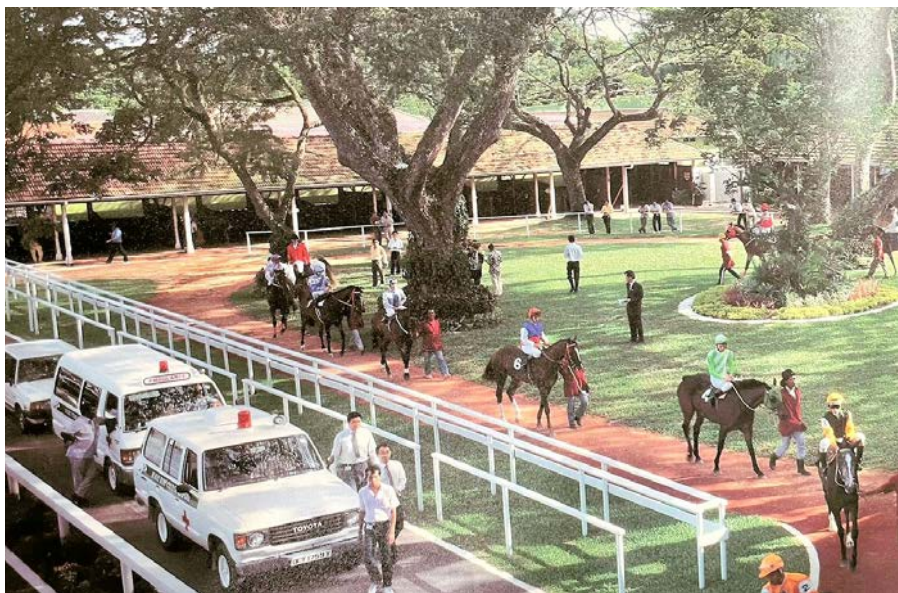
Note: No additional plates.


Building Information	
Building Number	30 (Horse Bridge, Fairways Drive)
External View	
Year Built	Unknown
Original Use	Horse crossing
Last Tenanted Use	Horse crossing
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	Simple beam bridge with concrete deck. Cost-effective design for horse crossing.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS

Note: No additional plates.


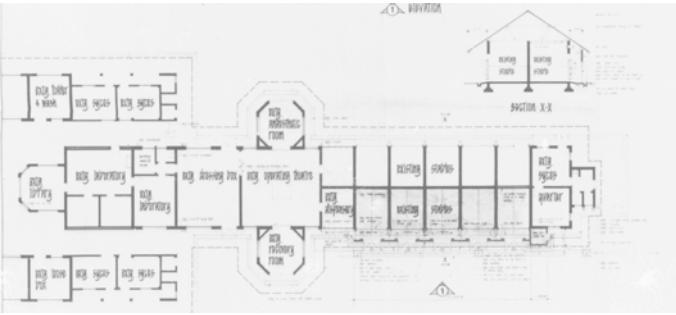
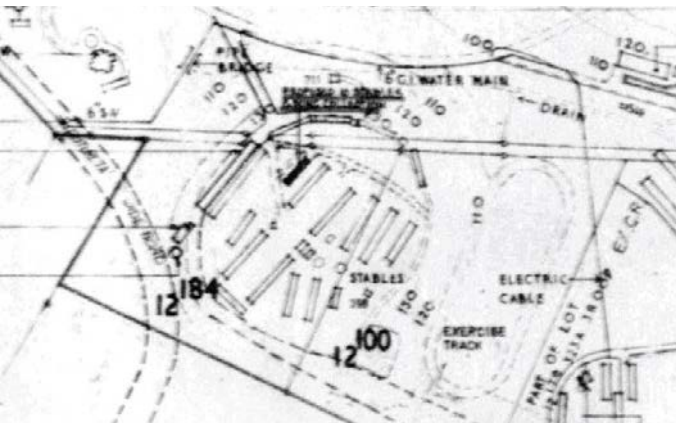
Building Information	
Building Number	31 (Hot Walker, Fairways Drive)
External View	
Year Built	Unknown
Original Use	Hot Walker (Horse Walker)
Last Tenanted Use	Not in use
Current Condition	Very Bad
Assessment of Significance	
Aesthetic & Architectural Value	Simple round concrete structure designed for hot walking, allowing the horse to cool down after a hard exercise.
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS

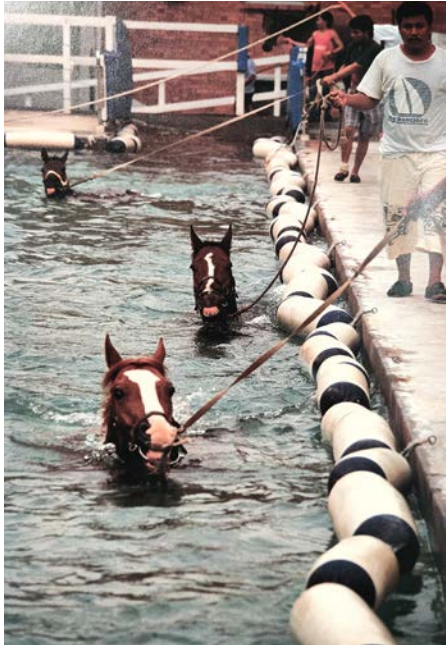
Note: No additional plates.

Structure Information	
Building Number	D1 (Paddock Block)
External View	 <p>(Source: Tan,1992)</p>
Year Built	1933
Original Use	Holding area for trainers, jockeys and horses to be stationed before being led to the race track.
Current Condition	Demolished
Notes	<p>Located at the side of the South Grandstand, a convenient location behind the Main Track and Parade Ring.</p> <p>A gathering space for jockeys before the race, where they mingled and received last minute instructions from their trainers. There were three buildings on the Paddock Block. One included locker rooms for jockeys and a weighing room, where the jockeys weigh out before each race. Another building housed a laboratory for drug testing of horses before each race. Current site after demolition is used as a car park.</p>



Additional Plates	Description
	Currently used as a carpark/ loading area.


Building Information	
Building Number	D2 & D3 (Stables)
External View	 <p style="text-align: center;"><i>(Source: NAS, 1999)</i></p>
Year Built	Between 1947-53
Original Use	Stables. Later converted into medical treatment facility for horses
Current Condition	Demolished
Notes	<p>Conveniently stationed near the stables (D3, refer to Base Plan, p18). The building was initially used as stables, then converted into an Equine Hospital in 1976. It served as a swabbing facility to test for drug use in horses before and after races.</p> <p>A block of 10 tables was upgraded to air-conditioned stables in 1976.</p> <p>Visited by Queen Elizabeth II, Duke of Edinburgh and Princess Anne during their state visit to Singapore in February 1972.</p> <p>Currently the site is covered with dense vegetation and relatively inaccessible by foot.</p>



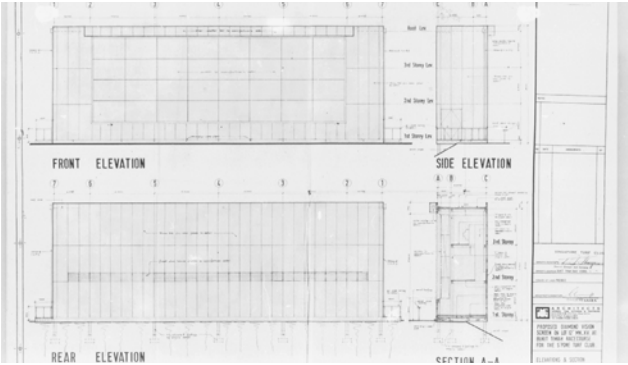
Additional Plates	Description
 <p data-bbox="400 573 595 600">(Source: NAS,1999)</p>	<p data-bbox="852 371 1414 452">Laboratory inside the Equine Hospital that was used for drug testing.</p>
 <p data-bbox="260 958 730 985">(Source: Iversen, Van Sitteren & Partners, 1976)</p>	<p data-bbox="852 786 1374 866">Plan of the laboratory inside the equine hospital that was used for drug testing.</p>
 <p data-bbox="260 1491 730 1518">(Source: Iversen, Van Sitteren & Partners, 1981)</p>	<p data-bbox="852 1279 1225 1305">D3 Stables in the 1981 plan.</p>

Structure Information	
Structure Number	D4 (Equine pool)
External View	
Year Built	Between 1933-81
Original Use	Swimming pool for horse training
Current Condition	Demolished
Notes	Used for training and therapy for injured horses. Nicely tucked in between two stable clusters (12 and D3, refer to Base Plan).

Note: No additional plates.

Structure Information	
Structure Number	D5 (Multi-storey car park)
External View	 <p>(Source: NAS, 1963, Adapted by Author)</p>
Year Built	1950s, renovated into a multi-storey car park in the 1970s.
Original Use	Car park
Current Condition	Demolished
Notes	<p>Located at the junction between Dunearn Road and Swiss Cottage Road. The car park was originally constructed to accommodate an increase in membership in the 1950s. It was later renovated into a multi-storey car park for 2,900 cars in the 1970s.</p> <p>Since the car park is located further away from the grandstand, a covered walkway was constructed in the 1970s connecting the car park to the grandstand.</p> <p>The car park was demolished in the late 1990s, and the current site is used for sporting facilities.</p>
Additional Plates	Description
 <p>(Source: Google Street View, 2019)</p>	<p>Covered walkway connecting the car park to the grandstand in the 1950s.</p>

Structure Information	
Building Number	T1 (Main Track)
External View	
Year Built	1933
Original Use	Main Track for horse racing
Last Tenanted Use	Sports fields and sports facilities
Current Condition	Fair
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	<p>During WWII, under the British military, the lawns were trenched and obstacles were placed on the track to prevent Japanese planes from landing.</p> <p>Used by legendary jockeys such as Lester Piggott, an English professional jockey who is widely regarded as one of the greatest flat racing jockeys of all time. He was invited to ride in the race to commemorate the visit by the Queen, Duke of Edinburgh and Princess Anne in 1972. He subsequently won the race with a champion horse Jumbo Jet, a New Zealand gelding.</p>
Communal & Social Value	Serve as fields for sports academies.
Contextual Value	Main Track is situated at the centre of Bukit Timah Turf Club, which manifests its significant role and the spirit of horse racing in this area.

Additional Plates	Description
	<p>Trees have overgrown and seemingly dividing the track into two.</p>
 <p>(Source: NAS, 1964)</p>	
 <p>(Source: Tan, 1992)</p>  <p>(Source: Iversen, van Sitteren & Partners, 1981)</p>	<p>Diamond Vision Screen & Elevation Plan.</p>

Additional Plates

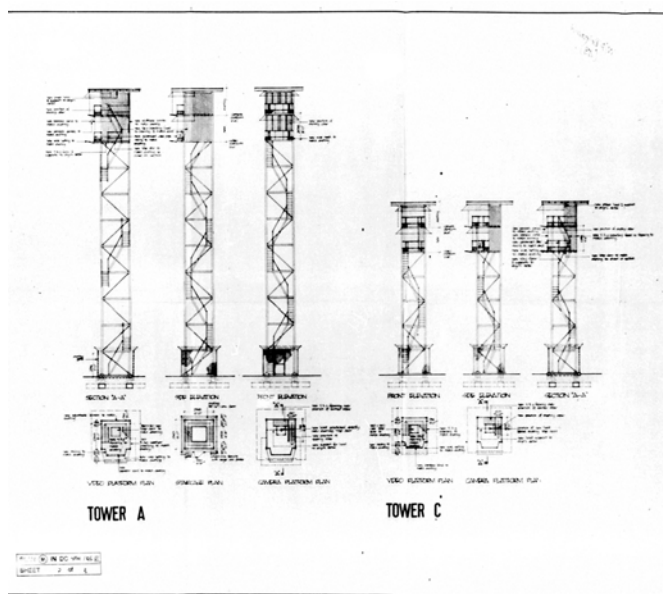
Description



Top: Parts of the Main Track currently used for sports fields, which are covered with artificial grass.



Bottom: Ravine in the middle of the Main Track.

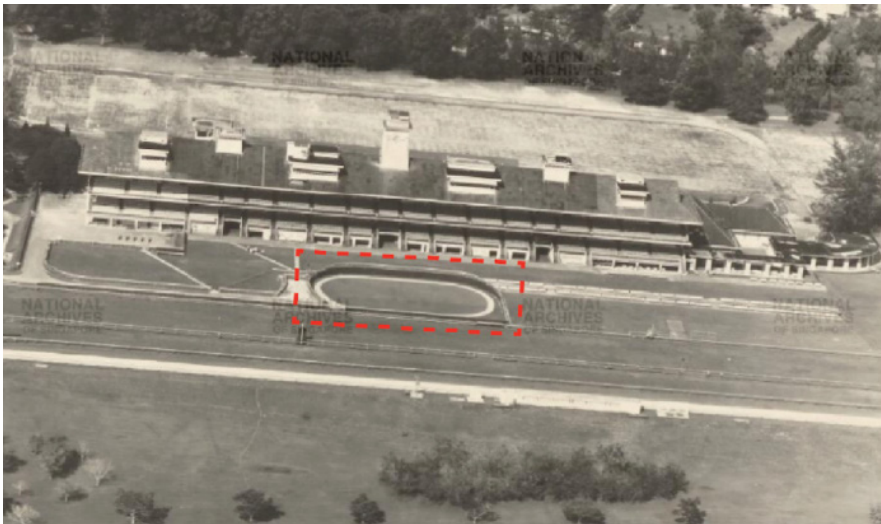



Camera tower. Currently demolished.

(Source: Iversen, van Sitteren & Partners, 1981)



(Source: Tan, 1992)

Structure Information	
Structure Number	T2 (Parade Ring)
External View	 <p>(Source: NAS, 1964)</p>
Year Built	Unknown
Original Use	Used for ceremonial showcases of winning horses, jockeys, trainers and horse owners.
Current Condition	Partially demolished, converted into a car park.
Notes	<p>Adjacent to the North and South Grandstand, and the Main Track.</p> <p>Several foreign and local dignitaries were often invited to present trophies to winning jockeys, trainers, owners and horses. These include Queen Elizabeth II, Malay royals and local officials.</p> <p>Symbolic set location for capturing group photographs of race winners and dignitaries.</p>

Additional Plates	Description
 <p>(Source: Mark Bailey, 1950s)</p>	<p>Parade Ring in the 1950s.</p>

Additional Plates

Description




(Source: Tan, 1992)

Round podium beside the Parade Ring. Podium was used by VIP guests and Turf Club executives to present prizes and trophies to race winners.

The original white paint is currently repainted with black paint. Some parts of the paint have flaked off.


A round brick railing has been erected on top of the podium, its purpose is unclear.


Structure Information	
Building Number	T3 (Exercise Ring)
External View	
Year Built	Between 1947 and 1953
Original Use	Exercise ring for horse training
Last Tenanted Use	Unknown
Current Condition	Fair
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Nicely tucked in between stable clusters (D3, refer to Base Plan, p17) and workers' quarters.


Additional Plates	Description
	Surrounding areas are now covered with dense vegetation, impassable by foot.

Structure Information	
Building Number	T4 (Exercise Ring)
External View	
Year Built	1933
Original Use	Exercise ring for horse training
Last Tenanted Use	Horse riding academy
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Located near the stables for the trainers' convenience to give the horses training and warm-up sessions.


Note: No additional plates.

Structure Information	
Building Number	T5 (Bukit Timah Saddle Club Track)
External View	 <p>(Source: Google Street View, 2019)</p>
Year Built	1960s
Original Use	Exercise ring for horse training and track for competitions
Last Tenanted Use	Exercise ring for horse training and track for competitions
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	Hosted the 12th Southeast Asian Games Equestrian Dressage Competition in 1983.
Communal & Social Value	A gathering space for equestrian sport enthusiasts.
Contextual Value	NS

Additional Plates	Description
 <p>(Source: NAS, 1983)</p>	<p>Scene at the 12th Southeast Asian Games in 1983.</p>

Structure Information	
Building Number	L1 (Horse Pastures)
External View	
Year Built	N.A.
Original Use	Exercise field for horses
Last Tenanted Use	Exercise field for horses
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	NS
Communal & Social Value	NS
Contextual Value	Situated along the horse training route for Bukit Timah Saddle Club.

Note: No additional plates.

Structure Information	
Building Number	L2 (Forested knoll)
External View	
Year Built	N.A.
Original Use	N.A.
Current Use	N.A.
Current Condition	Good
Assessment of Significance	
Aesthetic & Architectural Value	NS
Historical Value	NS
Communal & Social Value	NS
Contextual Value	NS

Note 1: This item is tackled as a special case since the Forested Knoll has environmental value. This value is not however part of the study.

A point is awarded for this special case, but this is provisional as the separately commissioned EIA report was not available for review during the study period.

Note 2: No additional plates.

4.6.2 Summary of the Assessment Score

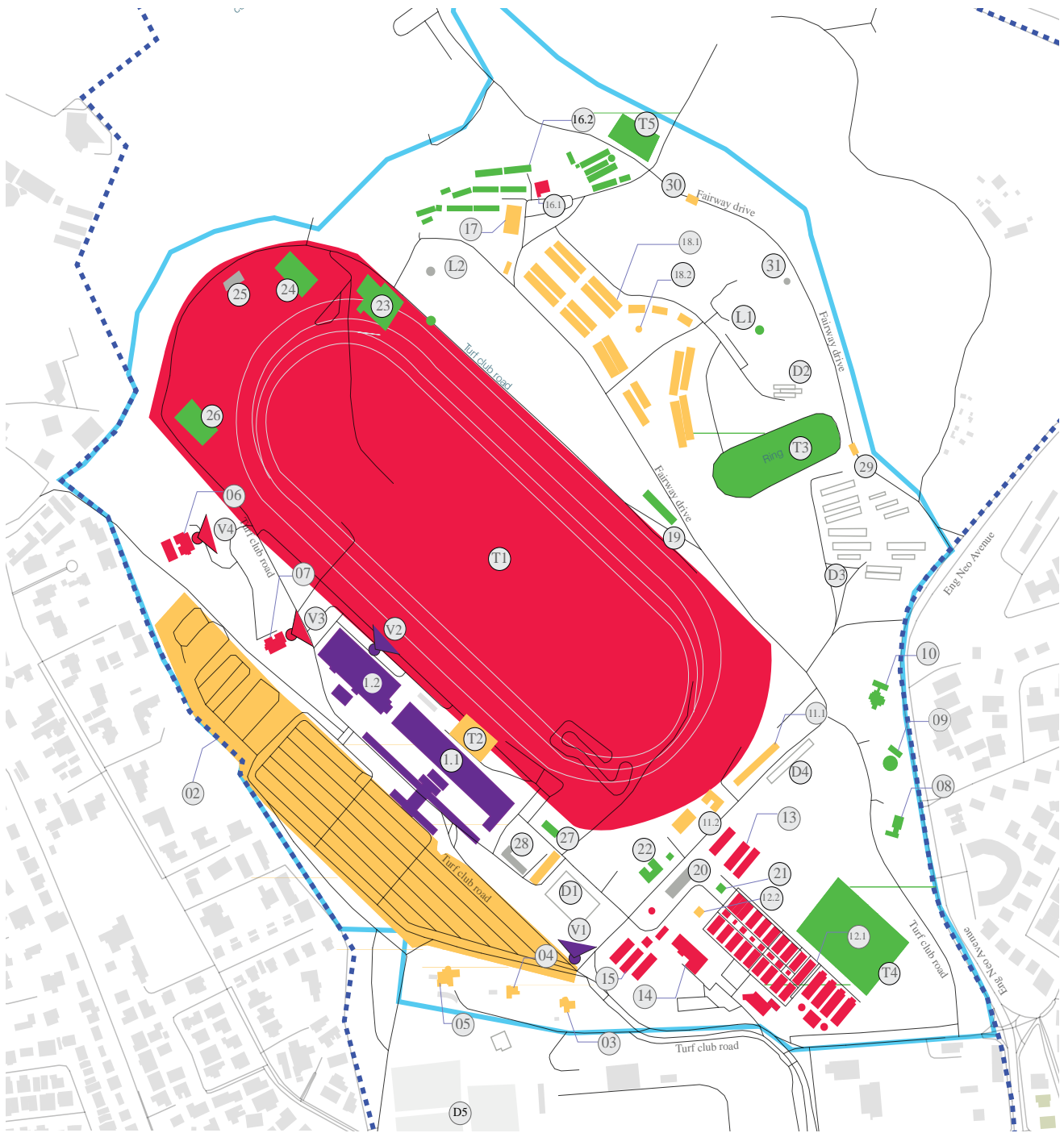
No.	Structure/ Building Name	S = A/A+H+C&S+C	Significance Score	Significance Level	Band
1.2	North Grandstand, 200 Turf Club Road	6+2+3+3	14	Exceptional	1
1.1	South Grandstand, 200 Turf Club Road	4+3+3+3	13	Exceptional	1
7	Secretary's Bungalow, 198 Turf Club Road	4+3+0+3	10	Moderate	2
6	Duplex Flat, 192 Turf Club Road	6+2+0+2	10	Moderate	2
T1	Main Track	0+3+2+3	8	Moderate	2
16.1	Bukit Timah Saddle Club, 51 Fairways Drive	4+1+2+1	8	Moderate	2
14	Workers' Quarters, 100 Turf Club Road	6+0+0+1	7	Moderate	2
12.1	Stables, 100 Turf Club Road	4+1+0+2	7	Moderate	2
13	Stables, 104 Turf Club Road	4+1+0+2	7	Moderate	2
15	Stables, 110 Turf Club Road	4+1+0+2	7	Moderate	2
11.1	Syces' Quarters, 2 Turf Club Road	4+0+0+1	5	Low	3
3	Bungalow, 232 Turf Club Rd	4+0+0+0	4	Low	3
4	Bungalow, 234 Turf Club Rd	4+0+0+0	4	Low	3
5	Bungalow, 236 Turf Club Rd	4+0+0+0	4	Low	3
18.1	Labourers' Quarters, 53 Fairways Drive	2+0+2+0	4	Low	3
18.2	Community Centre, 53 Fairways Drive	2+0+2+0	4	Low	3
T2	Parade Ring	0+2+0+2	4	Low	3
2	Car Park, 210 Turf Club Road	2+0+0+1	3	Low	3
12.2	Feed Room, 100 Turf Club Road	2+0+0+1	3	Low	3
17	Fairways Bungalow, 55 Fairways Drive	2+0+0+1	3	Low	3
11.2	Labourers' Quarters, 2 Turf Club Road	2+0+0+1	3	Low	3
29	Horse Bridge, Fairways Drive	0+0+2+1	3	Low	3
30	Horse Bridge, Fairways Drive	0+0+2+1	3	Low	3

No.	Structure/ Building Name	S = A/A+H+C&S+C	Significance Score	Significance Level	Band
9	Bungalow, 34 Turf Club Road	2+0+0+0	2	Neutral	3
8	Bungalow, 32 Turf Club Road	2+0+0+0	2	Neutral	3
10	Bungalow, 36 Turf Club Road	2+0+0+0	2	Neutral	3
16.2	Stables, 51 Fairways Drive	2+0+0+0	2	Neutral	3
19	Hay Barn	2+0+0+0	2	Neutral	3
T3	Exercise Ring	0+0+0+2	2	Neutral	3
T4	Exercise Ring	0+0+0+2	2	Neutral	3
T5	Bukit Timah Saddle Club Track	0+0+0+2	2	Neutral	3
21	Basketball Court Shelter, 100 Turf Club Road	0+0+2+0	2	Neutral	3
22	Tennis Court Shelter, 100 Turf Club Road	0+0+2+0	2	Neutral	3
23	Basketball Court Shelter, 100 Turf Club Road	0+0+2+0	2	Neutral	3
24	Sheltered Sporting Arena, 100 Turf Club Road	0+0+2+0	2	Neutral	3
26	Indoor Sporting Arena, 100 Turf Club Road	0+0+2+0	2	Neutral	3
27	Saddling Boxes, 200 Turf Club Road	0+0+2+0	2	Neutral	3
L1	Horse Pastures	0+0+0+1	1	Neutral	3
L2	Forested Knoll	0+0+0+1*	1	Neutral	3
25	Container Blocks, 100 Turf Club Road	0+0+0+0	0	Intrusive	3
20	Stables, 100 Turf Club Road	0+0+0+0	0	Intrusive	3
28	Saddling Stalls, 200 Turf Club Road	0+0+0+0	0	Intrusive	3
31	Abandoned Hot Walker, Fairways Drive	0+0+0+0	0	Intrusive	3

Table 4.3: Summary of assessment score.

* Note: This item is tackled as a special case since the Forested Knoll has environmental value. This value is not however part of the study.

A point is awarded for this special case, but this is provisional as the separately commissioned EIA report was not available for review during the study period.



Legend

- - - - - Boundary of future residential area
- Indicative boundary of study area
- Exceptional Significance
- Moderate Significance
- Low Significance
- Neutral Significance
- Intrusive Significance
- View Point and Direction



Figure 4.27 Location plan showing the significance of individual buildings/structures/spaces as per their significance score, colour coded to match with Table 4.3.

* For the definition of significance level, refer to Table 1.5.

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5.0 Statement of Significance

5.1 Significance Summary

STC was originally a private, but later publicly-owned, institution devoted to horse racing. It was also for a time an agent of the Tote Board. For the purposes of assessing significance, it can be treated independently, as well as synonymously with, the place in which its activities were conducted. Whereas the STC moved to its present site at Kranji in 1999, and which remains current, the subject of this study is the former site of the STC at Bukit Timah Racecourse, a site that has been adapted as a multi-purpose leisure venue, which retains the former North Grandstand built in 1981 and numerous other buildings, some of which have been adapted to other uses.

The racecourse at Bukit Timah is one of three such courses; the first was at today's Farrer Park (1843 - 1927); the second at Bukit Timah (1933 - 1999) and the third (and current) at Kranji (1999 -). It follows from this narrative that events that are important to an understanding of cultural significance will have occurred at locations other than Bukit Timah, the subject of this study. In order to capture these, they are treated in this report as intangible heritage values.¹

The establishment of the 244-acre Bukit Timah racecourse in 1927 was from land purchased from the Bukit Timah Rubber Estate at a cost of SGD850,000. Its creation was necessary to capture an increasing demand for racing. The racecourse was strategically positioned off one of Singapore's oldest and longest roads, Bukit Timah Road which was built to connect the bustling town of Bukit Timah to the lush rainforests and nature reserve to the north.

The principal significance of Bukit Timah lies in its association with horse racing and its development as a popular spectator sport from the early 1930s until 1999. In this relatively short period, horse racing gained considerable popularity and with that substantial investment in buildings, racecourse facilities, new technology and operational and administrative improvement. Its heritage values are wide ranging: aesthetic - substantial new buildings in a set-piece context with distant views beyond the site boundaries; historical – staging the first race featuring a female jockey; a visit by Her Majesty The Queen and other members of the Royal Family; its use as a military hospital by both British and Japanese Forces during WW2; social – admission of the public and consequently wide popularity, non-restricted membership of the STC, contribution to good causes, association with the STC and with notable individuals; and scientific – innovations in technology related to horse racing.

1 The primary description of significance tends to rely upon a place or object (usually but not always a building or site). However, interest in intangible heritage has grown in importance in recent years. This is helpful when considering events that occur in another place (which may have been "lost" to redevelopment for example). In this case, the roles of Farrer Park and Kranji in the development of horse racing contributes indirectly to the significance of Bukit Timah through its association with horse racing—its primary significance—and therefore intangibly. This does not prevent significance accruing to the other sites but to rely on this to account for the cultural significance of the events that occurred there would in practical terms risk losing them. Accounting for them in the assessment of Bukit Timah as intangible elements enables them to be acknowledged. Further, it does not prevent them being acknowledged additionally in association with Farrer Park and Kranji.

It is therefore important to note that the site is no longer in use as a racecourse and that this materially affects its significance. That said, the racecourse at Bukit Timah has survived reasonably intact and clearly it retains strong evidence of its former and original use. A significant component of this lies in the site's openness and distant views, which would be at risk of being compromised by new development.

The extant racecourse elements broadly are of moderate value. Alongside the principal racecourse features, the other buildings and features are also of principally moderate value as they provide both spatial and physical connections with the site's association with equestrian and racing use.

The grandstands and the racetrack were by default designed to relate closely to one another. It follows therefore that neither the grandstand nor the racecourse makes sense spatially without the other. When considering plans for future development it is therefore imperative that this relationship is considered.

The extant buildings are a valuable resource as individual buildings in their own right, and more importantly as a group in the context of Bukit Timah Racecourse, where they are able to help bring the area to life and allow the local community, businesses, and visitors to better understand and appreciate the important events and developments that have occurred during the relatively short existence of the site as a publicly accessible racecourse from 1960 to 1999.

In most cases, the original features, and characteristics of each of the built assets are readily identifiable and therefore their significance can be recognised and properly understood. However, later alterations have inevitably occurred as the buildings have evolved and developed during the 20th century – the significance of such later alterations and accretions are therefore of limited value. At present, it would be reasonable to say there is not severe harm to the heritage values historically – the principal loss being the transfer of horse racing to Kranji – but at the same time it is too early to claim that the heritage values are being redefined by the new uses. The site is capable of retaining current its heritage significance subject to ongoing care and sensitivity in the maintenance and management of the site. Reference to the available photographic evidence suggests that the site and individual buildings are suffering the effects of poor site management that is manifest in cluttered spaces, particularly adjacent to buildings.

Bukit Timah Racecourse was therefore relatively short-lived as a venue for horse racing, but it has survived reasonably intact and clearly it retains strong evidence of its former and original use. A significant component of this lies in the site's openness and distant views, which would be at risk of being compromised by new development.

The establishment and development of STC and the racecourse at Bukit Timah were part of a trend of the period that was reflected in other parts of SE Asia and further afield in Australia, North America and the United Kingdom. The racecourse design was typical of many, being strictly geometrical in its layout. The establishment and early years of the STC were due to the personal enthusiasm of wealthy men, many of whom were merchants. This too was typical of the period since the trading opportunities that generated substantial personal wealth were occurring globally thanks to developments in technology, particularly as it affected intercontinental transport.

More locally, the STC and Bukit Timah were by association highly significant. The business was highly successful and due to the admission of the public in later years it became very popular. Through this, Bukit Timah accrued a high degree of social significance. It also acquired a moderate aesthetic significance that arose from the investment in substantial buildings. Overall, it played a significant part in the life of Singapore at a time when the country had quite recently become independent. The North Grandstand in particular embodied an enterprising spirit that was outward-looking and ambitious for the future. This building represents both the high point of horse racing in terms of the capacity that it provided and the self-confidence of an architectural style that was internationalist rather than colonial.

Four key viewpoints were identified as being significant - see Figure 4.24. The first viewpoint is from the entrance to the site, while the second one is from the North Grandstand looking towards the main track and the open-air landscape beyond. Both are identified as with exceptional significance. The rest two key viewpoints are from the Duplex Flat (Former Secretary's Bungalow, Building No.6) and Secretary's Bungalow (Building No.7), however, their significance is moderate due to their private nature.

6.0 Preliminary Character-Defining Elements






This section provides a preliminary summary description and analysis of the significance of individual elements of the site (commonly known as Character Defining Elements (CDEs)). These elements may include spaces, architectural details, landscape elements or any other individual features of the site. The table is intended to provide a summary understanding of the site and help to gauge impacts, inform policies and to guide future decisions for any change.




Five levels of significance have been used to describe the elements individually as set out in table 1.5. The criteria used to assess the significance of each element are the values described in sections 1.3.1 - 1.3.4. Each entry in the schedule is accompanied by a photograph of a sample of the item described. Similar examples of each item can be seen by observation.

This schedule of Character-defining Elements is prepared based on the currently available information.

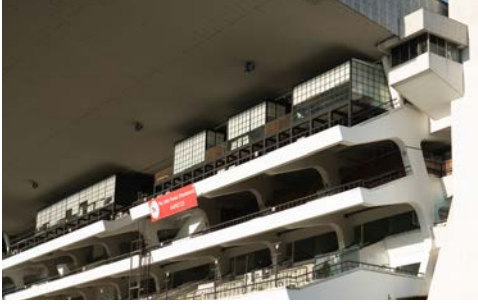
6.2 Schedule of Character-defining Elements



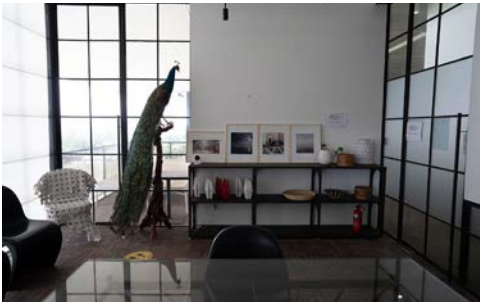
Building No. 1.1 South Grandstand

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
1.1.1	Exterior (overview)		Exceptional
1.1.2	Original 1933 fabric		Exceptional
1.1.3	1956 alterations, comprising longitudinal extensions on both sides, two additional VIP boxes, refreshment facilities, sitting area and new totalisator points		Moderate
1.1.4	1981 alterations comprising roof modification, additional storey, replacement bell tower and private spectator booths		Moderate
1.1.5	Post 2000s alterations comprising fabric including shops on the west side, enclosure of balconies and landscape reconstruction		Intrusive



ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
1.1.6	1980 Landscape re-design at the entrance		Moderate
1.1.7	Clock mechanism (subject to further verification of whether the existing mechanism is original)		Moderate
Interior			
1.1.8	Interior (overview)		Low






ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
1.2.1	Exterior (overview)		Exceptional
1.2.2	Modernist and Functional Architecture		Exceptional
1.2.3	Large cantilever concrete roof		Exceptional
1.2.4	Geometry of the structural design and exploitation of reinforced concrete		Exceptional
1.2.5	The combination of mosaic, painted fair-faced concrete and tile as external finishes		Moderate







ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
1.2.6	Overall seating deck design including the metal railing, tiled flooring and mosaic parapet wall.		Moderate
1.2.7	Rear staircase design including the metal railing and tile and mosaic finishes		Moderate
1.2.8	Circular and cylindrical elements on the side and rear elevation		Moderate
1.2.9	Linear and angled window design to respond local climate requirements		Moderate
1.2.10	Later intervention including the addition of Executive Boxes		Intrusive

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Interior			
1.2.11	Interior (overview)		Moderate - Low
1.2.12	Later renovated tenants' space		Neutral
1.2.13	Interior of the Executive Boxes		Neutral

Building No. 2 Car Park

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
2.1	Continuous use of car park (from original open-air to multi-storey car park)		Low
2.2	1987 Multi-storey car park including the covered edge profile and round columns		Neutral
2.3.a	1933 Bridge		Moderate
2.3.b	1980 Modification of the 1933 bridge, notably the alteration of the roof structure and the loss of the pilasters		Intrusive
2.4	1987 Bridge and large-span of steel roof		Neutral






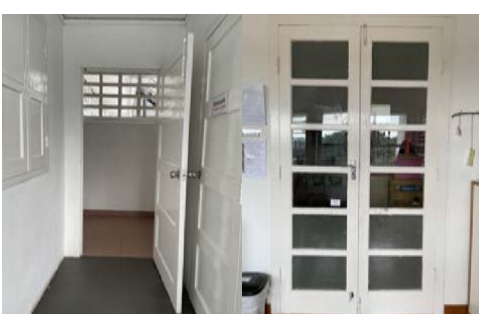
ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
3.1	Exterior overview and the setting of the building		Moderate
3.2	Roughcast render as external finishes		Low
3.3	Projecting horizontal eave and canopy as a response to local climatic conditions		Moderate
3.4	Timber louvred windows and doors and additional louvres on top (original ironmongery included)		Low
3.5	Round timber pivot windows with fixed glazing		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
3.6	Later additions including metal canopies, outdoor VRV units, etc.		Intrusive
3.7	Half-round projecting bay		Moderate
Interior			
3.8	Interior (overview)		Low
3.9	Spiral staircase and wood finishes		Moderate
3.10	Stepped cornice moulding		Moderate
3.11	Internal joinery		Moderate

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
4.1	Exterior overview and the setting of the building		Moderate
4.2	Roughcast render as external finishes		Low
4.3	Projecting horizontal eave and canopy as a response to local climatic conditions		Moderate
4.4	Timber louvred windows and doors and additional louvres on top (original ironmongery included)		Moderate
4.5	Round timber pivot windows with fixed glazing		Low






ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
4.6	Later additions including replacement/ secondary aluminium windows, enclosure to original balconies, etc.		Intrusive
4.7	Half-round projecting bay		Moderate
Interior			
4.8	Interior (overview)		Moderate
4.9	Timber parquet flooring		Moderate
4.10	Spiral staircase in painted concrete finishes		Low




ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
5.1	Exterior overview and the setting of the building		Moderate
5.2	Roughcast render as external finishes		Low
5.3	Projecting horizontal eave and canopy as a response to local climatic conditions		Moderate
5.4	Timber louvred windows and doors and additional louvres on top (original ironmongery included)		Moderate
5.5	Pre-cast cement frame		Low






ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
5.6	Later additions including two external steel staircase, outdoor furniture, partial enclosure and metal fence		Intrusive
5.7	Half-round projecting bay		Moderate
Interior			
5.8	Interior (overview)		Low
5.9	Timber parquet flooring		Moderate
5.10	High-level louvres blanked off		Intrusive
5.11	Internal joinery (including ironmongery)		Low





ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
6.1	Exterior (overview)		Moderate
6.2	Tiled pitch roofs with broad eaves		Moderate
6.3	Chimney stacks		Low
6.4	Roughcast render as external finishes		Low
6.5	Porch design with arched openings on G/F <i>Note: covered roof is suspected to be later addition</i>		Moderate

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
6.6	Balcony design with simplified columns on top of pre-cast cement balustrade and solid parapet wall		Moderate
6.7	Timber windows		Low
6.8	Terracotta floor tiles		Low
6.9	Pre-cast concrete balustrade design		Low
6.10	Later additions including enclosure of original balcony		Intrusive

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
6.11	Annexe block with kitchen and servants' quarters		Low
6.12	Covered walkway connecting to Annexe block with simplified column design, rendered grilles and profiled plinth		Moderate
6.13	Pavilion		Low
6.14	Spacious entrance with soft landscape and private road access to the bungalow		Low
Interior			
6.15	Interior (overview)		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
6.16	Timber floor boards		Low
6.17	Timber joinery doors and windows (including patterned metal grilles)		Moderate
6.18	Staircase design with terracotta floor tiles, decorative metal balusters and timber handrail		Moderate






ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
7.1	Exterior overview and the setting of the building		Moderate
7.2	Tiled pitched roofs with broad eaves and exposed purlins		Moderate
			
7.3	Chimney stacks		Low
7.4	Smooth painted render as external finishes		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
7.5	<p>Later addition of verandah space including tiled flooring, roof and outer columns</p>		Intrusive
7.6	<p>Later addition of external staircase</p>		Intrusive
7.7	<p>Timber windows (not original)</p> <p><i>Note: existing photo (above) and historic photo (below)</i></p>		Neutral
7.8	<p>Historic ventilation grilles (some were blocked)</p>		Low






ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
7.9	Pre-cast concrete balustrade design		Low
7.10	Older timber windows		Low
7.11	Annexe block		Low
7.12	Spacious entrance with soft landscape, private road and metal gates		Low
Interior			
7.13	Interior (overview)		Moderate

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
7.14	Moulded cornice and ceiling design		Moderate
7.15	Timber staircase with timber balustrade and newel post		Moderate
7.16	Internal joinery (including ironmongery)		Moderate
7.17	Exposed roof soffit with tiles, timber rafters and purlins		Low
7.18	Tiled flooring with timber parquet in the middle <i>Note: timber parquet is suspected to be later addition subject to further investigation</i>		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
8.1	Exterior overview and the setting of the building		Low
8.2	Tiled pitched roof with broad eave		Moderate
8.3	Historic timber joinery doors		Low
8.4	Replacement aluminium windows		Intrusive
8.5	Chimney stack		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
8.6	Roof and associated structure for the covered patio		Low
8.7	Entrance metal gate		Low
Interior			
8.8	Interior (overview)		Low
8.9	Historic timber joinery doors		Low
8.10	Archway with moulded plasterwork		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
9.1	Exterior overview and the setting of the building		Low
9.2	Tiled pitched roof with broad eave		Moderate
9.3	Historic timber casement windows with solid top-hung panel, including ironmongery		Moderate
9.4	Historic joinery doors with ventilation grilles above, including ironmongery		Intrusive
9.5	Chimney stack		Neutral

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
9.6	Porte-cochere structure (possibly later addition)		Intrusive
9.7	Modern aluminium sliding doors		Intrusive
9.8	Entrance metal gate		Low
Interior			
9.9	Interior (overview)		Low
9.10	Historic timber joinery doors		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
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9.11

Covered walkway connecting the front and rear wing, including the floor tiles



Low

9.12



Panelled also ceiling with skelings at the perimeter



Low

Building No. 10 Bungalow, 36 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
10.1	Exterior overview and the setting of the building		Low
10.2	Tiled pitched roof		Low
10.3	Historic timber joinery windows and doors		Low
10.4	Historic ventilation grilles		Low
10.5	Roof and associated structure for the covered patio		Low



ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Interior			
10.6	Interior (overview)		Low
10.7	Covered walkway		Low



Building No. 11.1 Syces' Quarters, 2 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
11.1.1	Exterior (overview)		Moderate
11.1.2	Modernist architecture of typical 1970s brick and concrete public buildings		Low
11.1.3	Combination of painted render and facing red brick as external finishes		Low
11.1.4	Shared access deck facing the road creating a strong horizontal emphasis and shading		Moderate
11.1.5	Rear elevation		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
11.1.6	Side elevation with open-air staircase		Low
11.1.7	Staircase design with metal balustrade and handrails		Low
11.1.8	Later addition of ramp		Neutral
Interior			
11.1.9	Interior (overview)		Low




Building No. 11.2 Labourers' Quarters, 2 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
11.2.1	Exterior overview and the setting of the building		Low
11.2.2	Tiled pitched roof with broad eave		Low
11.2.3	Replacement metal sheeting roof		Intrusive
11.2.4	Historic ventilation grilles		Low
11.2.5	<p>External walls with facing brick at the bottom and painted rendered wall on top</p> <p><i>Note: the originality of the paint over the facing brickwork shall be further verified.</i></p>		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
11.2.6	Modern aluminium windows and doors		Intrusive
Interior			
11.2.7	Interior (overview)		Neutral

Building No. 12.1 Stables, 100 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
12.1.1	Exterior of typical 1933 horse stable (18nos. in total) overview and the settings of the stables		Moderate
12.1.2	4 no. Blocks; 2 no. Rolling Boxes; and 2 no. Stores added in 1980		Neutral
12.1.3	Interlocking clay tiled jack-roofs with broad eave and associated timber king post roof trusses		Moderate
12.1.4	Ventilation grilles on the gable ends		Moderate





ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
12.1.5	Later added infilled walls, doors and windows		Neutral
12.1.6	Parapet wall design with simple moulding		Low
12.1.7	Modern intervention including change of colour scheme, roof coverings and outdoor VRV units		Intrusive



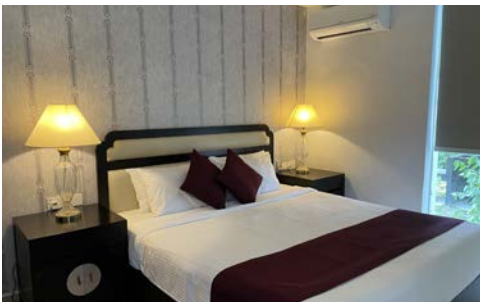
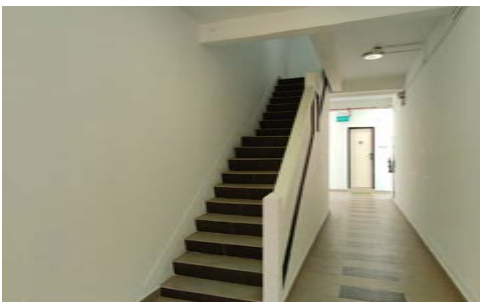
Building No. 12.2 Feed Room, 100 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
12.2.1	Exterior (overview)		Low
12.2.2	Tiled pitched roof with broad eave		Low
12.2.3	Later added infilled walls and windows		Neutral
12.2.4	Modern intervention including outdoor furniture (overview)		Intrusive




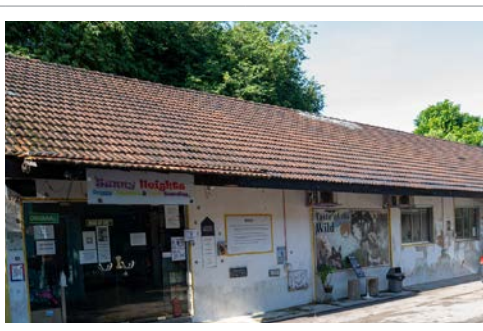
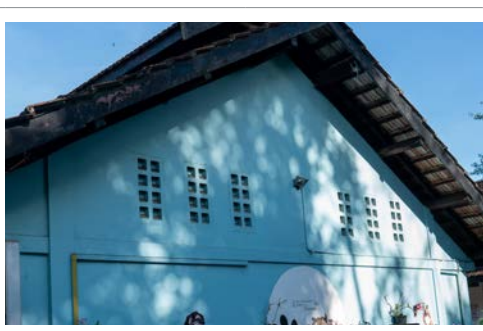
ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
13.1	Exterior overview and the settings of the buildings		Moderate
13.2	Interlocking clay tiled jack-roofs with broad eave		Moderate
13.3	Ventilation grilles on the gable ends		Moderate
13.4	Original partitions for stalls		Moderate
13.5	Modern intervention including infilled aluminium windows and doors (overview)		Intrusive



Building No. 14 Workers' Quarters, 100 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
14.1	Exterior overview and the setting of the building		Moderate
14.2	Tiled pitched roof with large eave projection and associated steel and timber roof structure		Moderate
14.3	Colonial building with symmetrical design		Moderate
14.4	Replacement aluminium windows		Intrusive
14.5	Facing brick chimney stacks		Low






ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
14.6	Balustrade design with pre-cast concrete panels		Low
14.7	Modern intervention including replacement aluminium windows, cantilevered slabs and canopies (overview)		Intrusive
Interior			
14.8	Interior (overview)		Neutral
14.9	Internal staircase		Low



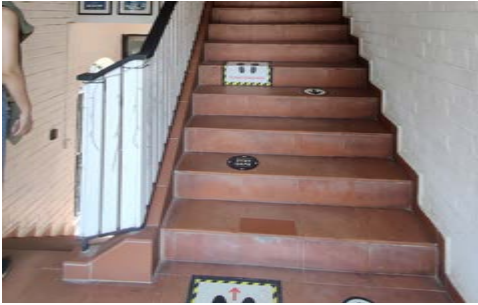
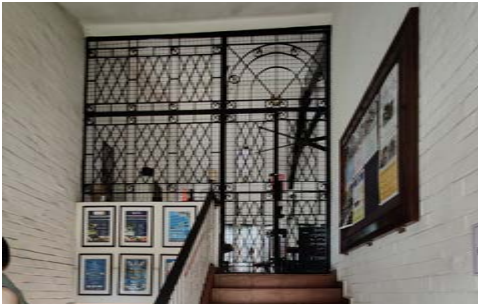
Building No. 15 Stables, 110 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
15.1	Exterior of 1962-64 structure overview and the settings of the stables		Moderate
15.2	Exterior of 1994 extension structure (overview)		Low
15.3	Interlocking clay tiled jack-roofs with large eave projection and associated roof trusses		Moderate
15.4	Tiled pitched roof with large eave projection and associated roof structure		Low
15.5	Ventilation grilles on the gable ends		Moderate




ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
15.6	Later added infilled walls and windows		Neutral
15.7	Original rolling box structure with octagon shaped roof structure		Moderate





Building No. 16.1 Club House, 51 Fairways Drive


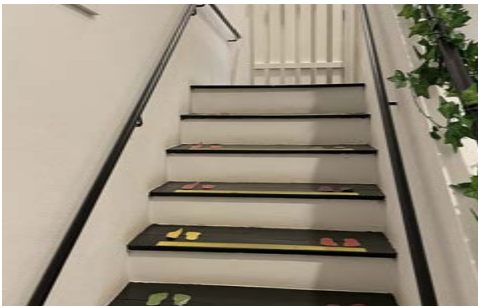


ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
16.1.1	Exterior overview and the setting of the building		Moderate
16.1.2	Tiled pitched roof with large eave projection and associated timber roof structure		Low
16.1.3	Chimney stack		Low
16.1.4	Original timber joinery doors and louvres		Moderate
16.1.5	Modern intervention including extension on the northeast, canopies		Intrusive

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
16.1.6	Historic timber panelled doors		Low
Interior			
16.1.7	Interior (overview)		Neutral
16.1.8	Internal staircase		Low
16.1.9	Decorative metal screen and door		Neutral



Building No. 16.2 Stables, 51 Fairways Drive

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
16.2.1	Exterior (overview)		Moderate
16.2.2	Tiled pitched roof with large eave projection and associated steel roof structure		Low
16.2.3	Brick partition between horse stalls		Low
16.2.4	Access road and fencing		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
17.1	Exterior overview and the setting of the building		Moderate
17.2	North wing (with extensive alterations)		Low
17.3	Tiled pitched roof with large eave projection and associated roof structure		Low
17.4	Replacement windows and doors		Intrusive
17.5	Roughcast render finish		Low




ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Interior			
17.6	Interior (overview)		Neutral
17.7	Internal staircase		Low
17.8	Timber boarded ceiling		Intrusive
17.9	Traditional fluted Doric columns		Moderate

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
18.1.1	Exterior overview and the settings of the buildings		Low
18.1.2	Tiled pitched roof with large eave projection and associated roof structure		Low
18.1.3	Chimney stacks		Low
18.1.4	Steel windows with coloured translucent glass		Low

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
18.1.5	Ventilation grilles on gable ends		Low
18.1.6	Screens with ventilation blocks		Low


ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
Exterior			
18.2.1	Exterior (overview)		Low
18.2.2	Tiled pitched roof with large eave projection and associated timber roof structure		Low
18.2.3	Red clay tiles imported from "Guichard Carvin et Cie from Marseille St. Andre" .		Low
18.2.4	Timber joinery windows and doors		Low
Interior			
18.2.5	Interior (overview)		Low

Building No. 19 Hay Barn


ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
19.1	Exterior (overview)		Neutral
19.2	High-pitched roof with multiple tiers, supported by wooden brackets		Low
19.3	Brick retaining walls with weep holes		Neutral

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
20.1	Exterior (overview)	 A photograph showing the exterior of a building with a corrugated metal roof. The building is partially obscured by trees and foliage. In the foreground, there are several blue tarps and green containers on a dirt path. The scene is outdoors with sunlight filtering through the trees.	Intrusive


Building No. 21 Basketball court shelter, 100 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
21.1	Exterior (overview)		Neutral


Building No. 22 Tennis court shelter, Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
22.1	Exterior (overview)		Neutral


Building No. 23 Basketball court shelter, Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
23.1	Exterior (overview)		Neutral


Building No. 24 Sheltered sporting arena, Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
24.1	Exterior (overview)		Neutral


Building No. 25 Container blocks, Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
25.1	Exterior (overview)		Intrusive


Building No. 26 Indoor sporting arena, Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
26.1	Exterior (overview)		Neutral


Building No. 27 Saddling Boxes, 200 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
27.1	Exterior (overview)		Neutral


Building No. 28 Saddling Boxes, 200 Turf Club Road

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
28.1	Exterior (overview)		Intrusive


Building No. 29 Horse Bridge No. 1

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
29.1	Concrete bridge with metal balustrade covered by heavy vegetation (overview)		Low


Building No. 30 Horse Bridge No. 2

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
30.1	Concrete bridge with ramps and metal balustrade (overview)		Low


Building No. 31 Abandoned Hot Walker

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
31.1	Exterior (overview)		Intrusive







Building No. L1 Horse Pastures

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
L1.1	Exterior (overview)		Neutral

Building No. L2 Forested Knoll


ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
L2.1	Exterior (overview)		Neutral

Track No. T1 Main Track


ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
T1.1	Configuration of historical racecourse and the relationship with South and North Grandstand as expanded in the early 1980s		Exceptional
T1.2	Shape and layout of the racetrack		Moderate
T1.3	Naturalised landscape within and beyond the site boundary		Moderate
T1.4	Later modification to the racecourse, including all sports facilities and temporary structure (Building No.23, 24, 25 and 26) within the racecourse		Intrusive
T1.5	Ravine inclusive of landscape, cycle tracks and drainage inside		Moderate
T1.6	Cycle Tracks		Neutral

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
T2.1	Round podium (overview)		Moderate
T2.2	Original balustrade design		Low
T2.3	Later added low brick wall		Intrusive
T2.4	Tiled flooring		Low

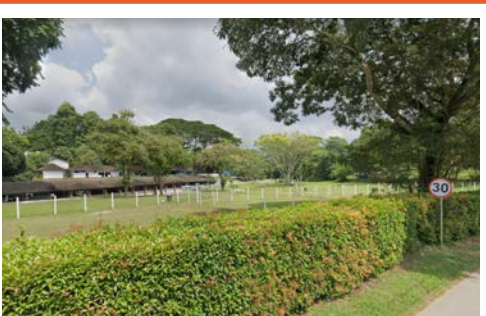
Track No. T3 Exercise Ring

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
T3.1	Overview		Neutral


Track No. T4 Exercise Ring

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
T4.1	Overview		Neutral


Track No. T5 Bukit Timah Saddle Club Track

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
T5.1	Overview		Neutral

Key view No.1

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
V.1	View from the site entrance looking towards the two grandstands (Building 1.1 and 1.2) and the main track (T1)		Exceptional


Key view No.2

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
V.2	View from North Grandstand (Building No. 1.2) seating looking towards the main track (T1) and open landscape beyond.		Exceptional

Key view No.3

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
V.3	View from Former Deputy Secretary's Bungalow (Building No. 7) looking towards the main track (T1)		Moderate

Key view No.4

ELEMENT NO.	DESCRIPTION	PHOTO	SIGNIFICANCE
V.4	View from Duplex Flat (Building No. 6) looking towards the main track (T1)		Moderate

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7.0 Conservation Principles

7.1 Conservation standard and international charters

The establishment and implementation of this heritage analysis will generally follow the standards of the following international charters and their conservation principles:

1. Venice Charter (1964) (International Charter for the conservation and restoration of monuments and sites) – the most fundamental principles and international standards for conservation and restoration of heritage buildings and sites adopted by UNESCO (United Nations of Education, Science and Cultural Organization) and ICOMOS (International Council of Monuments and Sites).
2. Conservation Principles (2008) The policies and guidance in this document by the English Heritage provides a comprehensive framework for the sustainable management of the historic environment.
3. Burra Charter (2013) (The Australia ICOMOS Charter for Places of Cultural Significance) – the latest version of a worldwide recognised standard of establishment and implementation of conservation adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) since 1979. This Charter guides the conservation and management of places of cultural significances (cultural heritage places).
4. China Principles (2015) (Principles for the conservation of heritage sites in China) – developed based on the experience of Australia and the United States in heritage conservation and local condition of China.

7.2 Definition of terms

This section defines the terms that are used in the Burra Charter (2013) except as noted otherwise. Only those terms that are applicable to this study are included.

7.2.1 General

The definitions can be found in Article 1 'Definition' of the Burra Charter (2013) and other sources as specified:

- **Place** means a geographically defined area. It may include elements, objects, spaces and views. The place may have tangible and intangible dimensions.
- **Cultural significance** means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.
- **Fabric** means all the physical material of the place, including elements, fixtures, contents and objects.
- **Conservation** means all the processes of looking after a place so as to retain its cultural significance.
- **Maintenance** means the continuous protective care of a place, and its setting. Maintenance is to be distinguished from repair which involves restoration or reconstruction.
- **Preservation** means maintaining a place in its existing state and retarding deterioration.
- **Restoration** means returning a place to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.
- **Reconstruction** means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material.
- **Adaptation** means changing a place to suit the existing use or proposed use.
- **Use** means the functions of a place, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.
- **Compatible use** means a use which respects the cultural significance of a place. Such use involves no, or minimal, impact on cultural significance.
- **Setting** means the immediate and extended environment of a place that is part of or contributes to its cultural significance and distinctive character.
- **Related place** means a place that contributes to the cultural significance of another place.
- **Related object** means an object that contributes to the cultural significance of a place but is not at the place.
- **Associations** mean the connections that exist between people and a place.
- **Meanings** denote what a place signifies, indicates, evokes or expresses to people.
- **Interpretation** means all the ways of presenting the cultural significance of a place.
- **Character-defining elements** mean the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of a historic place, and which must be retained in order to preserve its heritage value.¹
- **Authenticity** means heritage resource that is materially original or genuine as it was constructed and as it has aged and weathered in time.²

1 Parks Canada (2010). Standards and guidelines for the conservation of historic places in Canada. Canada.

2 Feilden, B M and Jokilehto, J (1998). Management guidelines for world cultural heritage sites. Paris: ICCROM.

7.3 Applying the Burra Charter and other international conservation principles

In this section, the conservation principles governing the conservation processes and practice are extracted from the Burra Charter (2013) and others as specified. These provide the basis for description, assessment and guidance for the identification, impact and any mitigation of character-defining elements and heritage values.

Burra Charter

Article 14 Conservation processes

Conservation may, according to circumstance, include the processes of: retention or reintroduction of a use; retention of associations and meanings; maintenance, preservation, restoration, reconstruction, adaptation and interpretation; and will commonly include a combination of more than one of these. Conservation may also include retention of the contribution that related places and related objects make to the cultural significance of a place.

Article 16 Maintenance

Maintenance is fundamental to conservation. Maintenance should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.

Article 17 Preservation

Preservation is appropriate where the existing fabric or its condition constitutes evidence of cultural significance, or where insufficient evidence is available to allow other conservation processes to be carried out.

Article 19 Restoration

Restoration is appropriate only if there is sufficient evidence of an earlier state of the fabric.

Article 20 Reconstruction

Reconstruction is appropriate only where a place is incomplete through damage or alteration, and only where there is enough evidence to reproduce an earlier state of the fabric. In rare cases, reconstruction may also be appropriate as part of use or practice that retains the cultural significance of the place. Reconstruction should be identifiable on close inspection or through additional interpretation.

Article 21 Adaptation

Adaptation is acceptable only where the adaptation has minimal impact on the cultural significance of the place. Adaptation should involve minimal change to significant fabric, achieved only after considering alternatives.

Article 22 New work

New work such as additions to the place may be acceptable where it does not distort or obscure the cultural significance of the place or detract from its interpretation and appreciation. New work should be readily identifiable as such.

Article 25 Interpretation

The cultural significance of many places is not readily apparent and should be explained by interpretation. Interpretation should enhance understanding and engagement and be culturally appropriate.

Article 27 Managing change

The impact of proposed changes, including incremental changes, on the cultural significance of a place should be assessed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes to better retain cultural significance. Existing fabric, use, associations and meanings should be adequately recorded before and after any changes are made to the place.

Concept of change, new work and alteration

Change may be necessary to retain cultural significance but is undesirable where it reduces cultural significance. The amount of change to a place should be guided by the cultural significance of the place and its appropriate interpretation. (Australia ICOMOS (2013), Burra Charter. Article 15)

New work or alteration to a significant place should normally be acceptable if:

- a. the proposal would not materially harm the values of the place, which, where appropriate, would be reinforced or further revealed; and
- b. the proposal aspires to a quality of design and execution which may be valued now and in the future. (English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management for the historic environment. Overview, Clause 14)

Changes which would harm the heritage values of a significant place should be unacceptable unless:

- a. the changes are demonstrably necessary either to make the place sustainable or to meet an overriding public policy objective or need;
- b. there is no reasonably practicable alternative means of doing so without harm;
- c. that harm has been reduced to the minimum consistent with achieving the objective; and
- d. it has been demonstrated that the predicted public benefit decisively outweighs the harm to the values of the place, considering its comparative significance; the impact on that significance, and the benefits to the place itself and/or the wider community or society as a whole. (English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management for the historic environment. Overview, Clause 15)

Conservation is the process of managing change to a significant place in its setting in ways that will best sustain its heritage values while recognising opportunities to reveal or reinforce those values for present and future generations. (English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management for the historic environment. Principle 4.2).

Considered change offers the potential to enhance and add value to places, as well as generating the need to protect their established heritage values. (English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management for the historic environment. Terms and Concepts, Clause 25)

Sustaining the value of the historic environment as a whole also depends on creating in the present the heritage of the future, through changes that enhance and enrich the values of places. (English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management for the historic environment. Managing change to significant places, Clause 96)

Owners and managers of significant places should not be discouraged from adding further layers of potential future interest and value, provided that recognised heritage values are not eroded or compromised in the process. (English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management for the historic environment. Managing change to significant places, Clause 86)

The following paragraphs address a number of principles that are spread across various charters and standard practices that are relevant to this project. They are written in the abstract in order to retain a consistent reporting format in this section of the report.

7.3.1 Conserve heritage values

- *Conserve the heritage values of the historic place, and respect any changes that have occurred over time, particularly those that convey significant value. Thus, it is not necessary to return to the original period of the building when it was first erected. Only remove or replace physical fabric that has been substantially altered which diminishes heritage value.*
- *If necessary, protect, preserve, or stabilise the historic place and the building fabric in place, until any subsequent intervention is undertaken.*
- *Restore any deformed, collapsed, or misplaced components.*
- *Later additions that are considered to be of no significance or are intrusive should be removed.*

7.3.2 Authenticity

- *Respect the original character or architectural style of the building fabric and retain its traditional building materials or construction system so far as is feasible.*
- *Recognize each historic place as a physical record of its time, place and use.*
- *Do not create a false sense of the historical narrative by adding elements from other historic places or by combining features of the same property that never co-existed.*

7.3.4 Reversibility

- *Keep any treatment of or intervention into the building fabric to the minimum and seek to do so in a way that is reversible.*
- *Make any intervention physically and visually compatible and identifiable upon close inspection and document any intervention for future reference.*
- *Any intervention (either as new uses, alterations or replacement of materials and components) should seek to preserve or enhance the heritage value and not to compromise the significance of the place.*

7.3.5 Repair rather than replace

- *Existing materials and components should be repaired and retained where it is feasible to do so. Replacement should be carried out only where there is no practical alternative.*

7.3.6 Integrating old and new

- *New interventions, where it is overall beneficial to the future of the heritage asset, should be designed to compliment the building or site. This may include the enhancement of heritage value (for example, by providing access to an area of interest that would otherwise be unseen) or by sensitivity toward the selection of forms and colours in the new work.*

7.3.8 Managing change

- *Change should be incremental and limited to circumstances that are essential to the long-term sustainability of the place and subject to compliance with all other conservation principles described here.*

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8.0 Conservation Guidelines

This section formulates a set of specific site and building guidelines for planning and designing the planned redevelopment works at the former Bukit Timah Racecourse. This section also sets out conservation goals as well as an interpretation strategy.

At this stage, the proposed development plan will require several buildings and structures to be demolished, some of which are near those which are retained. These retained buildings will need to be protected and monitored throughout the construction period of the redevelopment works.

8.1 Background

1. Racing at former Bukit Timah Racecourse ceased in 1999. The existing buildings and structures that supported the racing operations were retained and adapted to new uses.
2. Existing buildings at former Bukit Timah Racecourse mainly were built in concentrated periods, during the 1930s, 1950s and 1980s. By the time of its closure as a racecourse, the site had acquired three generations of buildings, from the pre- and post-War and post-independence periods.
3. The guidelines set out in this report seek to take account of a range of considerations but they are principally those of the conservation consultant. Other considerations, for example of adaptive reuse, statutory requirements, structural limitations, environmental issues, are subject to the advice of experts in those fields. Details of the interpretation strategy are outlined in section 8.6.

8.2 Conservation goals

The initial goals set out below are written in expectation that change is necessary in any future redevelopment plan where the conservation goals are expected to inform and help to manage this change.

1. To recognise and respect the significance of the former Bukit Timah Racecourse in history and the development of the site with buildings of different periods and contexts.
2. To mitigate the impact of the proposed redevelopment scheme on the retained buildings, structures, and open spaces, to create compatible elements that enhance and interpret the history and physical attributes of the retained features of the site.
3. To set a planning and design framework to guide any future development within the site.

8.3 Overall conservation approach

1. The setting of the former Bukit Timah Racecourse site is primarily established by the location of the buildings and their relationship to the racecourse. This is therefore a key feature that should be retained so far as is feasible. It offers potential to create a unique characteristic in the context of the future development. The proposed works includes an enhanced sense of arrival by constructing a new railway station. It is imperative that the placement of the station entrance, and the associated road works, should seek to take advantage of this opportunity and to respect the characteristics of the race track and immediate surroundings, most notably its openness.
2. A number of buildings are planned for full or partial demolition, as well as there being planned new buildings to be constructed in the vicinity of retained buildings. All retained buildings will need to be protected and monitored throughout the construction operations, including during any temporary works stage. A protection plan should be developed jointly with the contractor.
3. As outlined in the impact assessment (see section 9.0), it is expected that the retained buildings will be adapted to new uses and modernised where necessary. The new uses should be compatible with the heritage values of the buildings. The removal of unsympathetic alterations and additions is encouraged. Some further demolition of buildings, structures and open spaces would be acceptable provided always that it is in order to improve the site's long-term sustainability.
4. In general, any new building or structure should be of their time but also respectful of the existing retained buildings, the existing landscaping and topography. As the new building designs emerge, heritage and visual impact assessments should be completed for each case, as well as on a sitewide basis.
5. Prior to any construction works, including temporary works, the buildings, structures, and open spaces located within the affected study area should be recorded by means of photographic and cartographic surveys.
6. For those buildings and structures to be demolished or altered, it is recommended to salvage character defining elements including any historical artefacts identified within this report or during the further surveys noted above, for re-use and/or interpretation where feasible.
7. It is recommended that a pre- and post-construction survey should be carried out to record the condition of the retained buildings and structures. The condition should also be inspected regularly during any planned excavation works.

8.4 Sitewide guidelines

The former Bukit Timah Racecourse is distinctive in that the site was partially cleared and remodelled to construct the main racetrack (T1) and the South Grandstand (1.2). The supporting facilities, such as the stables, residences, training tracks etc were by contrast built on the land “as-found” and therefore set in a more naturalised landscape. The placement of future additions to the site should consider the particular character of this place and its landscape.

Guiding conservation principles

Historic England (2019), Conservation area appraisal, designation and management

Setting and views

Heritage assets can gain significance from their relationship with their setting whilst views from within or outside an area form an important way in which its significance is experienced and appreciated.

Historic England (2017), The settings of heritage assets

Setting and the significance of heritage assets

The setting is not itself a heritage asset, nor a heritage designation, although land comprising a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset or to the ability to appreciate that significance.

Australia ICOMOS (2013), Burra Charter

Article 8, Setting

Conservation requires the retention of an appropriate setting. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the cultural significance of the place.

Article 25, Interpretation

The cultural significance of many places is not readily apparent and should be explained by interpretation. Interpretation should enhance understanding and engagement, and be culturally appropriate.

Article 24, Retaining associations and meanings

Significant associations between people and a place should be respected, retained and not obscured. Opportunities for the interpretation, commemoration and celebration of these associations should be investigated and implemented. Significant meanings, including spiritual values, of a place, should be respected. Opportunities for the continuation or revival of these meanings should be investigated and implemented.

English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management of the historic environment

Principle 3.2

The significance of a place embraces all the diverse cultural and natural heritage values that people associate with it, or which prompt them to respond to it. These values tend to grow in strength and complexity over time, as understanding deepens and people's perceptions of a place evolve.

Principle 3.3

In order to identify the significance of a place, it is necessary first to understand its fabric, and how and why it has changed over time; and then to consider:

- *who values the place, and why they do so;*
- *how those values relate to its fabric;*
- *their relative importance;*
- *whether associated objects contribute to them;*
- *the contribution made by the setting and context of the place; and*
- *how the place compares with others sharing similar values.*

Principle 3.4

Understanding and articulating the values and significance of a place is necessary to inform decisions about its future. The degree of significance determines what, if any, protection, including statutory designation, is appropriate under law and policy.

Principle 4.2

Conservation is the process of managing change to a significant place in its setting in ways that will best sustain its heritage values while recognising opportunities to reveal or reinforce those values for present and future generation.

Proposed conservation guidelines ¹

Preservation

- Spatial character, the setting around extant buildings and structures, the relationship between different levels, and the outlook from the buildings at the periphery of the new station entrances, all potentially form an essential way in which the former Bukit Timah Racecourse significance might be experienced and appreciated in the future. The ability to discern these spatial relationships should be maintained as far as practicable to preserve heritage value. It also offers potential to assist navigation and wayfinding and to convey a unique characteristic to the site.
- Sensitive integration of the new permanent access road (under study) is vital to conserve the sense of place associated with the racetrack. The placement of the new road has the potential to create new vantage points to appreciate the existing historic buildings, particularly the grandstands from locations that historically weren't accessible. However, it is important that this maintains a sense of the primacy of the racetrack as a space.
- The prominent open space and the outline of the main racetrack (T1) should be maintained as far as practicable. As a minimum, the inner track footprint should be preserved, and where its definition has been lost, it should be reinstated. The inner track should be kept in its current location to preserve the spatial relationship with the retained grandstands.

New development

- Changes to the historic environment at the former Bukit Timah Racecourse site is acceptable if it is informed by the historical context. Additions and new buildings (for example station entrances) should be both contemporary and compatible with any heritage assets in the vicinity. This approach will create a readable narrative and minimise adverse impacts.
- New development on the site should respect the orientation, alignment, proximity, and views of significant retained historic buildings.

Reasons for the proposed guidelines

- Hence, keeping the spatial relationship between the racetrack, grandstand and supporting operational facilities can mitigate the physical impact on the setting. This will be an important contributor to effective interpretation of the site's heritage values.

¹ The proposed conservation guidelines are not statutory requirements. They are intended to inform planning and design policies for development of the former Bukit Timah Racecourse.

8.5 Building guidelines

8.5.1 External building fabric

All proposed works should be subject to scrutiny and the application of conservation guidelines. The following is an initial set of guidelines which should be considered for adoption.

Guiding conservation principles

Australia ICOMOS (2013), Burra Charter

Article 15.1

Change may be necessary to retain cultural significance but is undesirable where it reduces cultural significance. The amount of change to a place and its use should be guided by the cultural significance of the place and its appropriate interpretation.

Article 15.2

Changes which reduce cultural significance should be reversible and be reversed when circumstances permit.

Article 15.3

Demolition of the significant fabric of a place is generally not acceptable. However, in some cases, minor demolition may be appropriate as part of conservation. The removed significant fabric should be reinstated when circumstances permit.

Article 15.4

The contributions of all aspects of the cultural significance of a place should be respected. If a place includes fabric, uses, associations or meanings of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management of the historic environment

New work or alteration

New work or alteration to a significant place should normally be acceptable if:

- a. there is sufficient information comprehensively to understand the impacts of the proposal on the significance of the place;
- b. the proposal would not materially harm the values of the place, which, where appropriate, would be reinforced or further revealed;
- c. the proposals aspire to a quality of design and execution which may be valued now and in the future; and
- d. the long-term consequences of the proposals can, from experience, be demonstrated to be benign, or the proposals are designed not to prejudice alternative solutions in the future.

The proposals aspire to a quality of design and execution which may be valued now and, in the future. The need for quality in new work applies at every level, from small interventions in a historic room, to major new buildings or developments. Small changes need as much consideration as large ones, for cumulatively their effect can be comparable.

Consider the potential reversibility of changes

In reality, our ability to judge the long-term impact of changes on the significance of a place is limited. Interventions may not perform as expected. As perceptions of significance evolve, future generations may not consider their effect on heritage values positive. It is therefore desirable that changes, for example, those to improve energy efficiency in historic buildings, are capable of being reversed, in order not unduly to prejudice options for the future.

Integrating conservation with other public interests

Changes which would harm the heritage values of a significant place should be unacceptable unless:

- a. the changes are demonstrably necessary either to make the place sustainable or to meet an overriding public policy objective or need;
- b. there is no reasonably practicable alternative means of doing so without harm;
- c. that harm has been reduced to the minimum consistent with achieving the objective; and
- d. it has been demonstrated that the predicted public benefit decisively outweighs the harm to the values of the place, considering:
 - its comparative significance
 - the impact on that significance
 - the benefits to the place itself and/or the wider community or society as a whole

English Heritage (2008), Conservation principles: Policies and guidance for the sustainable management of the historic environment

Principle 4.5

Intervention may be justified if it increases understanding of the past, reveals or reinforces particular heritage values of a place, or is necessary to sustain those values for present and future generations, so long as any resulting harm is decisively outweighed by the benefits.

Principle 4.6

New work should aspire to a quality of design and execution which may be valued both now and in the future. This neither implies nor precludes working in traditional or new ways but should respect the significance of a place in its setting.

Managing change to significant places

Keeping a significant place in use is likely to require continual adaptation and change; but, provided such interventions respect the values of the place, they will tend to benefit public (heritage) as well as private interests in it. Many places now valued as part of the historic environment exist because of past patronage and private investment, and the work of successive generations often contributes to their significance. Owners and managers of significant places should not be discouraged from adding further layers of potential future interest and value, provided that recognised heritage values are not eroded or compromised in the process.

Take account of sustainability

Significant places should be used and managed in ways that will, wherever possible, ensure that their significance can be appreciated by generations to come, an established aspect of stewardship. Sustaining the value of the historic environment as a whole depends also on creating in the present the heritage of the future, through changes that enhance and enrich the values of places. Both objectives involve the difficult task of anticipating the heritage values of future generations, as well as understanding those of our own.

Proposed conservation guidelines

Reasons for the proposed conservation guidelines

- Retaining selected buildings in their original form and use, or another use that is compatible, is essential for effective interpretation of their heritage value. Building fabric that is deemed less significant would enable a degree of flexibility to be adopted to improve long term sustainability.

Preservation

- The characteristics of the diverse range of buildings on the site, be it those that are distinctly domestic bungalows influenced by contemporary Modernism in Britain, or the simple yet impressive icon of post-independent architecture, the North Grandstand, should be maintained as far as practicable.
- Retain, salvage, and/or reuse original materials and components to preserve heritage fabric, embodied energy and to reduce construction waste, where feasible.

Alterations and additions

- Alterations or additions to extant building elevations that are considered less significant are likely to be permissible. However, they should not visually challenge or dominate the existing building.
- Alterations or additions to existing building services and systems to enhance environmental amenity and energy efficiency should be integrated sensitively and without compromising the building's main elevations.

New work

- New work should:
 - a. respond sympathetically to the existing spatial character associated with the identified significant buildings;
 - b. relate to the predominant scale, style, materiality and grain of the setting;
 - c. respect the height, setback, bulk, density, and grain of the heritage fabric; and
 - d. respond to connections and views between various existing buildings and structures.

8.5.2 Internal building fabric and spatial qualities

The following is a set of guidelines that can be adopted to guide the future conservation for all retained buildings and structures as part of the redevelopment plan.

Guiding conservation principles

ICOMOS China (2015), Principles for the conservation of heritage sites in China

Article 36, Modern and contemporary sites and architecture

The conservation of modern and contemporary buildings and structures, industrial heritage and scientific and technological heritage should focus on the basic attributes of the original materials, design and function. Any stabilization measures should as far as possible not alter these attributes. Added components for strengthening a structure should be recognizable and reversible as far as possible, or at least not preclude further maintenance and repair.

Australia ICOMOS (2013), Burra Charter

Article 15.1

Change may be necessary to retain cultural significance but is undesirable where it reduces cultural significance. The amount of change to a place and its use should be guided by the cultural significance of the place and its appropriate interpretation.

Article 15.2

Changes which reduce cultural significance should be reversible and be reversed when circumstances permit.

Article 15.3

Demolition of the significant fabric of a place is generally not acceptable. However, in some cases, minor demolition may be appropriate as part of conservation. The removed significant fabric should be reinstated when circumstances permit.

Article 15.4

The contributions of all aspects of the cultural significance of a place should be respected. If a place includes fabric, uses, associations or meanings of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

Proposed conservation guidelines

Preservation

- The general spatial organisation of each building should be maintained as far as practicable.
- Retain, salvage, and reuse original built fabric and materials to preserve embodied energy and reduce construction waste, where possible.

Alterations and additions

- Alterations or additions may be made to adapt the building to new uses in accordance with the guidance provided in the impact assessment, provided always that any structural strengthening works would not have an adverse impact on the internal layout.
- Alterations to the internal layout to suit new uses or to comply with current building regulations, would be acceptable provided they are designed to enable the original or current layout to be understood.
- Any alterations to the internal room layout should not impact on the external elevations
- Alterations, additions or renewal of existing building systems to enhance environmental amenity and sustainability performance should be sensitively integrated without compromising the room layout.

New work

- New work should respond sympathetically to the existing spatial character associated with the identified significant buildings;

Reasons for the conservation guidelines

- To preserve and maintain the significance of identified character-defining elements, which is vital for the interpretation of the original functions of the buildings. However, careful analysis of each building should enable informed decisions to be made about adaptations to suit new uses without compromising heritage value.

8.5.3 Appropriate new use

To ensure the long-term viability of retained heritage assets, all retained buildings are likely to require a change of use. Informed decisions on finding appropriate new uses for the historic buildings at the former Bukit Timah Racecourse should not only be driven by a business plan, but should also consider the buildings' heritage significance and their capability for adaptation without requiring substantial change. Details on appropriate new uses are outlined in section 9.8.

Activity Generation Uses (AGUs) are important components of the urban and sub-urban environment because they enliven streets. Their use in this proposed development will be an important component of a successful outcome and one that also offers potential to promote the interpretation strategy for the site.

Guiding conservation principles

Australia ICOMOS (2013), Burra Charter

Article 7.1

Where the use of a place is of cultural significance, it should be retained.

Article 7.2

A place should have a compatible use.

Article 1.11

Compatible use means a use which respects the cultural significance of a place. Such use involves no, or minimal, impact on cultural significance.

ICOMOS China (2015), Principles for the conservation of heritage sites in China

Article 40, Appropriate use

Appropriate use can be an important means of conserving a heritage site. Use should take into consideration the values, attributes, state of preservation and setting, as well as the possibility of the site being used for research, presentation, a continuation of original function or adaptation for appropriate modern use. Use of a site should both be sustainable and promote community wellbeing. Overuse must be avoided.

Proposed conservation guidelines

New appropriate use of the retained buildings should:

- a. *minimise the physical intervention to significant building fabric*
- b. *do not compromise spatial qualities;*
- c. *enhance the understanding of cultural significance;*
- d. *allow interpretation of the significant prior life of a building;*
- e. *retain public access – with selected retained buildings being open for public understanding and subsequent enjoyment and use;*
- f. *be sympathetic to the surrounding context; and*
- g. *strive to achieve long-term sustainability.*

A more detailed set of guidelines should be prepared once the proposed new use(s) for the buildings are known.

8.5.4 Physical interventions to existing building fabric for building regulations compliance

It is important to note here that under certain circumstances, it may be impractical to comply with all of the requirements of regulations. For example, sometimes it may not be practical to make an existing bathroom accessible and useable by a person in a wheelchair or to achieve required levels of fire safety in a historic building. In such circumstances, the relevant agencies could consider if legislation can be applied flexibly to ensure sufficient protection is observed, where appropriate. It is sometimes possible to accept weakness in one area if compensation can be found in other areas.

In a historic building, this approach can enable inherent vulnerabilities to be addressed while minimising the impact on the building's character. For example, it may be possible to compensate on the provision of escape routes by making improvements to management procedures, or detection and alarm systems.

A good understanding of the historic building's character and its specific risk(s) is necessary to assess the need for, and the impact of, proposed intervention measures. Interventions should be:

- Compliant with legislation;
- Essential;
- Commensurate with risk;
- Sensitive;
- Minimally invasive; and
- Reversible (where practicable).

Proposed guidelines for intervention measures

- a. Protective barriers such as handrails and balustrades on internal and external staircases if found unsuitable or substandard should be upgraded (where practicable) to satisfy statutory requirements.
- b. Risers and treads of internal and external staircases if found unsuitable or substandard, should be upgraded (where practicable) to satisfy statutory requirements.
- c. Before assigning a new use for the historic building, detailed structural assessment or strengthening works may be required for it to sustain the imposed load as per its proposed use.
- d. Existing staircases can be readily upgraded to comply with the fire safety requirements, such as replacement of the existing balustrades (where practicable) or addition of fire-rated doors/lobby. Additional staircases could be added, if necessary.
- e. Existing windows and doors could be either upgraded or replaced to comply with fire safety requirements, provided that the shape of the existing window openings and the architraves around window openings shall be maintained.
- f. Barrier-free access should be provided to the site and existing buildings. Alteration and additional works to meet the universal accessibility requirements could be provided without affecting significant building fabrics:
 - The entrance could be levelled to allow persons with disability to gain access into buildings.
 - New lift/vertical platform lift could be added inside or attached to buildings.
 - The existing doors could be widened to suit new practical needs and design, subject to the stability and character of the building which should not be adversely affected.

A more detailed set of guidelines should be prepared once the proposed new use(s) for the buildings are known.

8.5.5 Update building systems appropriately

For many historic structures, building systems are new additions that must be incorporated with as much sensitivity to the original fabric as possible. Changes either big or small can have a significant cumulative impact over time. Care must be taken during initial project design and periodic upgrades to avoid the incremental loss of integrity. Following are four basic principles to keep in mind when upgrading systems in historic buildings:

- i. Sympathetic upgrades;
- ii. Reversibility: Building systems upgrades should be installed to avoid damage to – or to be removable without further damaging – character-defining elements;
- iii. Maximum retention of historic fabric; and
- iv. Life-cycle benefit: Long-term preservation emphasises the life-cycle benefits of reusing historic properties and planning for changing needs. As such, consider the following:
 - Minimise intrusions, and long-term impact on historic materials as future repairs and replacements are made.
 - Complex systems will require more maintenance to perform properly.
 - Explore alternatives that will allow the reuse of existing system elements, e.g., reuse ducts to avoid replacement costs. Augment existing systems with digital controls and meters that can monitor performance.
 - Building Automation Systems utilize digital control devices integrated into mechanical equipment that permits the computer control of operations.

Proposed general guidelines

New building services and systems should be carefully designed to avoid adverse impact on the character defining elements, and to reduce visual impact as far as practicable. A more detailed set of guidelines should be prepared once the proposed new use(s) for the buildings are known.

8.6 Interpretation Strategy

Interpretation provides the means of understanding the heritage value of a site so that the sense of place may be retained or enhanced and any negative impacts mitigated. It does this by providing information in a variety of formats and by storytelling.

The primary objectives of this plan are to:

- Map out a storyboard for the site that:
 1. explores the primary and secondary interpretive themes that reveal and celebrate the heritage significance of the site, inclusive of the surviving buildings, structure, landscape and open spaces, prominent/ famous historical figures and events.
 2. considers the types of heritage interpretation and relevant case studies.
 3. appraises key interpretive requirements against international charters.
 4. proposes a visitor route.
 5. outlines an interpretation action plan.
- Support an engaging, collaborative and integrated interpretation design for the project.
- Involve interested groups and stakeholders in the interpretation design process.
- Sustain heritage value by engaging a diverse audience in the appreciation of Singapore's racing heritage.



Figure 8.1: Key arrival view of the site

Due to the large scale of the site there is a need to break down the interpretation into a number of component parts so that the public may better understand the site. The interpretation plan therefore consists of a site-wide plan together with more detailed plans for each “cluster” identified in the planning strategy, for example: “Celebrate heritage”.

This plan has been prepared based on scheme provided by the URA. It is informed by site observations, a description of the site and assessment of its heritage significance, and an impact assessment.

There are no statutory requirements relating to the production of interpretation plans in Singapore. Therefore the production of this Interpretation Plan was guided by Article 25 of the Burra Charter, the associated practice note ‘Interpretation’ (Practice Note Version 1: November 2013), and the ICOMOS Ename Charter for the Interpretation and Presentation of Cultural Heritage Sites (2008).

The Australia ICOMOS Burra Charter (2013) defines interpretation as ‘all the ways of presenting the cultural significance of a place’. For details of compliance with the guiding principles, refer to Section 8.8 to 8.10.

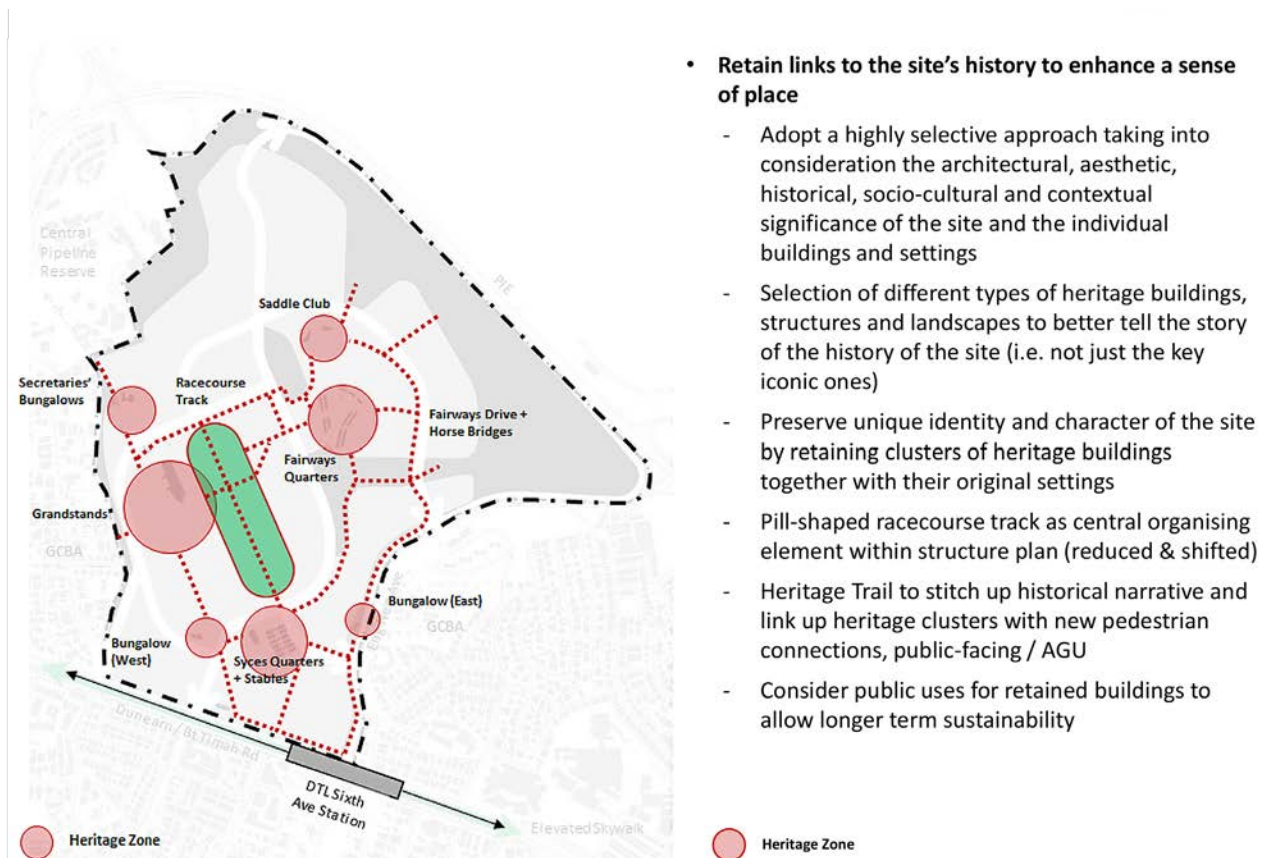


Figure 8.2: Proposed “Celebrate Heritage” with heritage cluster and loop published by URA (Source: URA)

8.6.1 Why interpret?

Heritage is a cultural asset. As such, it belongs and relates to all people in a community and is linked to other aspects of a community's cultural traditions, the physical environment and community life. The heritage interpretation of a place should therefore connect to audiences on all cultural levels and engage them in forming their personal association with the site and a sense of place. It should be adaptable to audiences from all backgrounds, whilst respecting the culture and values of any target audiences.

The interpretation methodology is to be developed in conjunction with URA so that the interpretation is communicated effectively, using a multi-faceted approach of digital media and physical installations. It is an opportunity to provide visitors with an experience that helps them explore the history and importance of the site in ways in that they might not be able to do on their own. It is intended to be inclusive and appropriate to a diverse demographic and on a variety of levels, be it casual visitors, academics or enthusiasts.

Heritage interpretation will be a key component for the redevelopment project at Bukit Timah Racecourse in promoting and sharing its heritage significance with future users, local citizens and general visitors.

The Heritage Interpretation Plan will cross-reference the schematic development plans, which will be used to structure a site-wide visitor route and narrative. This is intended to encourage visitors to engage in a range of experiences with the elements that have been identified as critical to understanding of the site in the future.

"Interpretation refers to the full range of potential activities intended to heighten public awareness and enhance understanding of cultural heritage sites."

ICOMOS Charter for the Interpretation and Presentation of Cultural Heritage Sites, 2008 (Ename Charter)

8.6.2 Who is the audience?

To determine the most appropriate interpretation methodology for the former Bukit Timah Racecourse, it is important to identify and consider the key audience groups that will encounter the interpretive content. All audiences may be expected to visit the site purposely. Therefore, knowing the audience is key to determining the content required. The interpretation may need to cater to different audiences, and therefore different approaches or programmes may be appropriate. In any case, it is expected that long-term and short-term programmes will be required so that residents can be engaged regularly while the long-term programme is targeted at general visitors and newcomers.

A provisional list of audience groups is shown below. The groups are in no particular order.

- Residents
- General visitors for recreational purposes (both national and international)
- General visitors for social purposes
- Heritage and architectural professionals
- Special interest groups
- Academics
- Students (school)
- Students (university)
- Digital audience
- Employees who work at the site

Any presentation of the site and its history should be preceded by a thorough investigation of what stories would most interest the target audience and which methods of interpretation they would be most likely to engage with. It is therefore recommended that a questionnaire is carried out, both online and advertised via local news outlets and social media. This exploration could also engage local schools and colleges alongside any interested groups and nearby community residents.

The data collected should be analysed to identify the themes that would most appeal to a range of audiences. The primary theme could form the basis of the regular or long-term interpretative content, which can be developed into interpretation panels, guidebooks, and guided tours. Secondary and tertiary themes could be presented in a variety of formats to form a layered menu of interpretation options, such as pop-up events, collaborations with artists, etc.

The range of stories that could be told about the site and the number of interpretive techniques available to share those stories are considerable. These are discussed in more detail across this plan.

8.6.3 What have we got and why does it matter?

The following text is a brief summary of the principal historic fabric and its significance, which is discussed in detail in Chapter 4 and 5.

What have we got?

- A large and relatively intact heritage site with a rich history and associations with STC, Bukit Timah Racecourse, sports events, charitable organisations and individuals.
- A varied architecture of different typologies including grandstands, residential bungalows, stables and a range of supporting facilities from the Colonial and Modernist eras.
- A unique combination of architecture, topology and landscape.

Why does it matter?

- Exceptional aesthetic/ architectural value of the entire site as well as the two generations of grandstands.
- Exceptional historical value of STC.
- Moderate historical values including associations with two World Wars, sports events, equestrianism, charitable organisations and individuals.
- Exceptional communal and social value relating to horse racing development in Singapore.
- Other heritage values summarised in table 4.1 in Chapter 4.0.



Figure 8.3: Colonial bungalow adapted for the tropical climate



Figure 8.4: The bungalow according to Modernists



Figure 8.5: Existing view to the Main Track from North Grandstand.



Figure 8.6: Existing view looking south to the North Grandstand.

8.6.4 What can we do to respect it?

The following guidelines are recommended to ensure that heritage values are respected in the future redevelopment and in the site interpretation plan.

- Retain extant heritage assets where it is feasible to do so.
- Adapt these buildings in a manner that preserves or enhances their heritage value commensurate with achieving a sustainable new use.
- Interpret these buildings and the site at large so that current and future generations of the public might understand the heritage value of the place.
- New development should acknowledge the site's heritage value where it is feasible to do so.

8.7 Interpretive themes and stories

Site-based interpretation is beneficial to a large-scale heritage site with a multiplicity of structures, spaces and landscape characteristics. By doing so, visitors will be able to understand how the historical development of the site has led to the formation of what they see. This would combine physical and/or virtual site/ building tours with new development.

The former Bukit Timah Racecourse stands as a physical reminder of the development of horse racing in Singapore. It is of architectural and historical significance to the country of Singapore. The heritage values identified in Chapter 4.0 will shape the interpretive themes and stories that will be communicated at the site. The aim of the interpretation is to provide the audience with:

- An appreciation of the racecourse and its place in the historical context of racing in Singapore.
- An appreciation of why the site is considered significant.
- Respect for the history of the site, its use, the people etc.

Across this section and following the archival research to date, we have outlined the primary interpretive themes, objectives, topics, and storylines that may be interpreted. Within the broader theme, several secondary (sub) themes have been established. It is recommended that people connected with the site are engaged during a series of consultation sessions to elicit stories that could be used to present its history and significance. Stories could be divided into two categories: overarching stories that could be incorporated in any long-term heritage interpretation and more specific stories that could be used in shorter term formats.

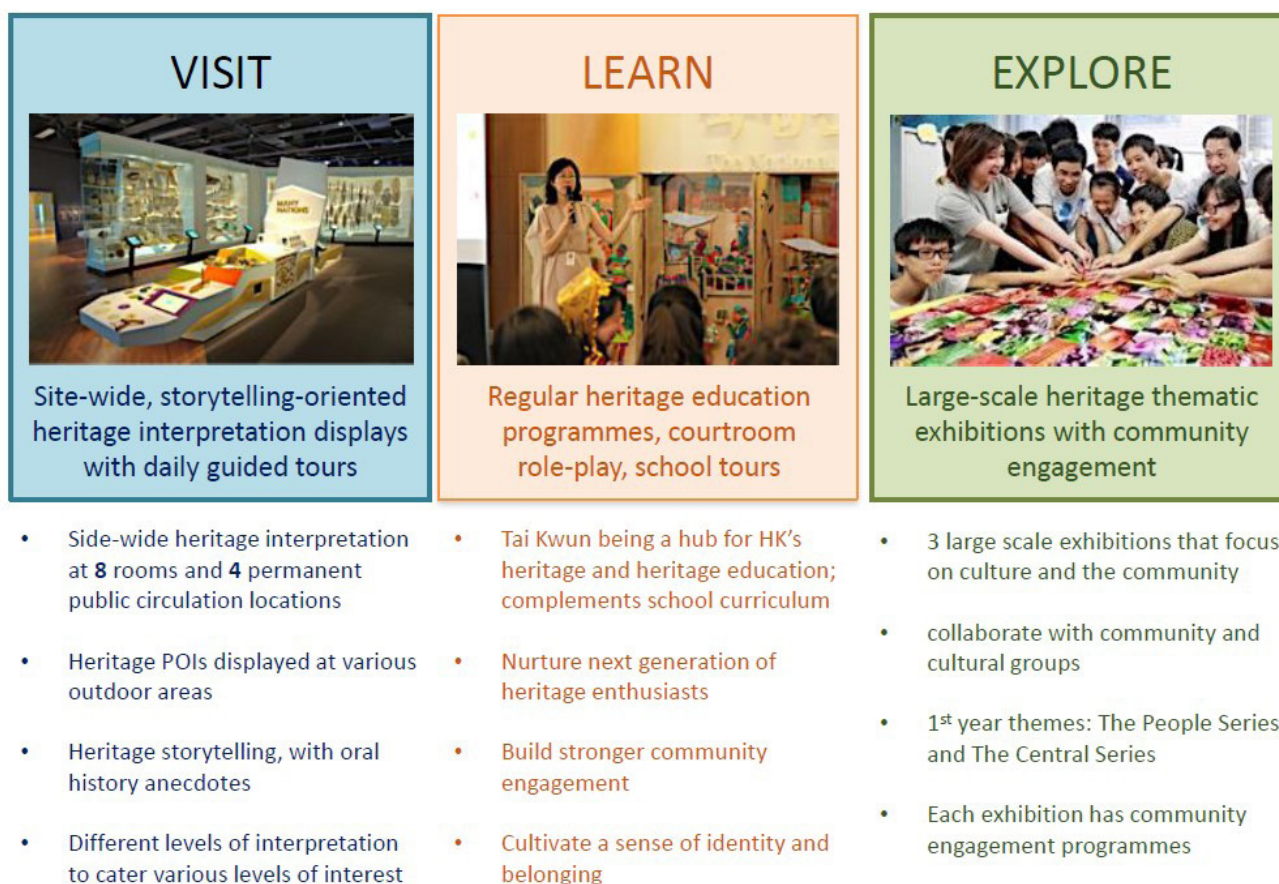
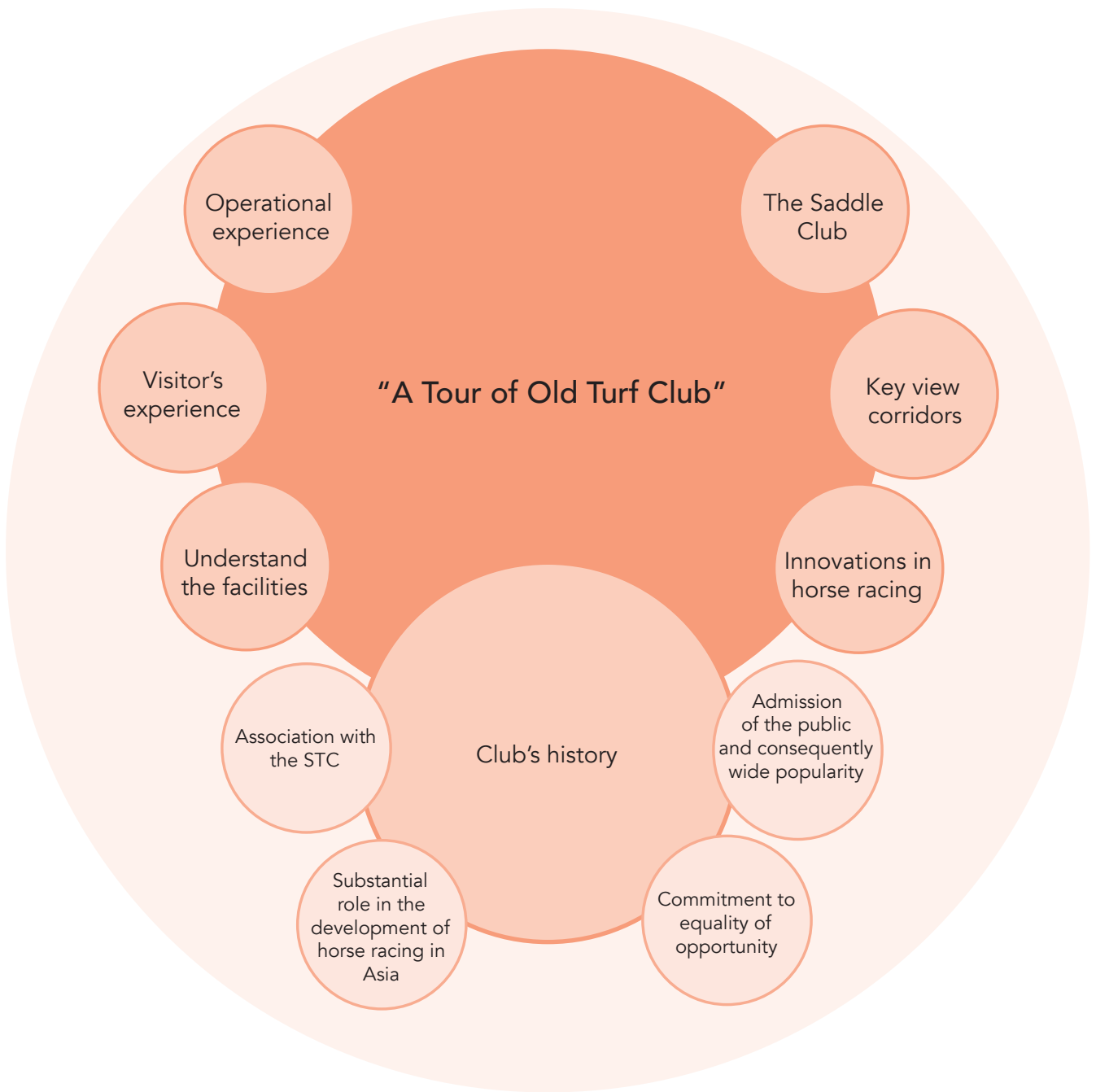


Figure 8.7: Heritage offerings in Tai Kwun. Source: Tai Kwun, Centre for Heritage and Arts

The plan should not focus solely on the history of the buildings or the site overall but include consideration of the spatial context between retained buildings, structures and open spaces. It should also consider the surrounding context of the site, as well as the early twentieth-century development of Singapore, notably through post-colonial period. Consultation with stakeholders about what matters to them would be assisted by the research and production of a Conservation Management Plan.

Some potential key themes and stories to consider are outlined in the diagrams on the next few pages. There are, however, other themes that could be explored as part of interpretation or education options. This might include changing themes annually to encourage repeat visits.

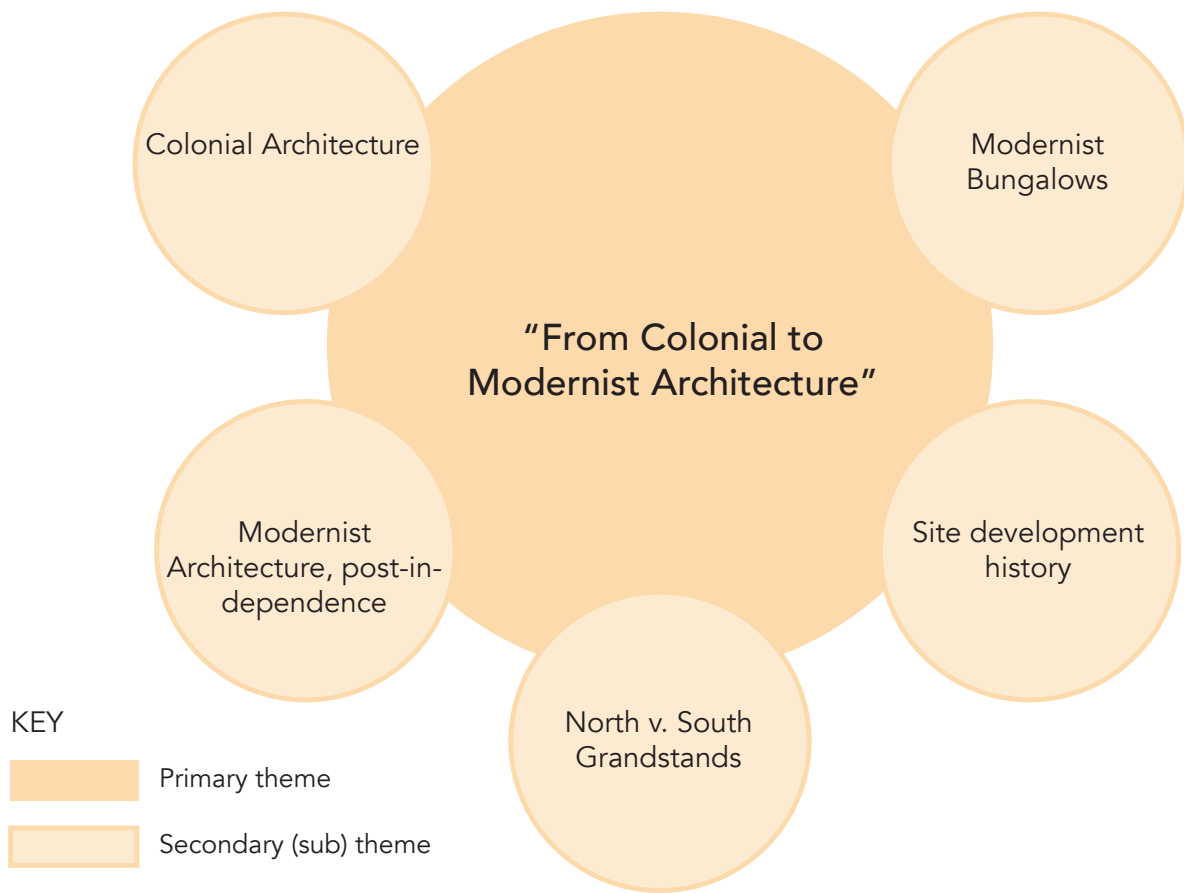
8.7.1 "A Tour of Old Turf Club"



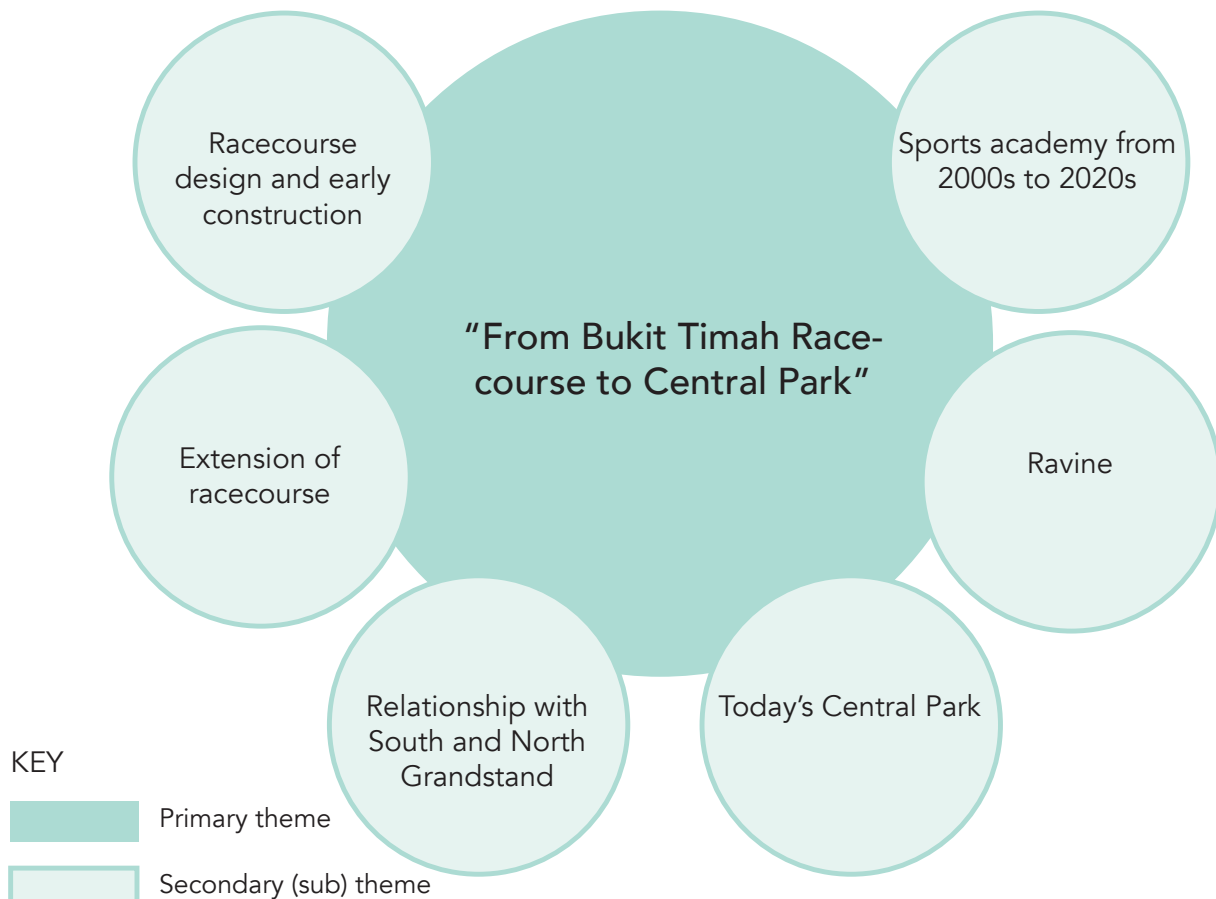
KEY

- Primary theme
- Secondary (sub) theme
- Tertiary theme

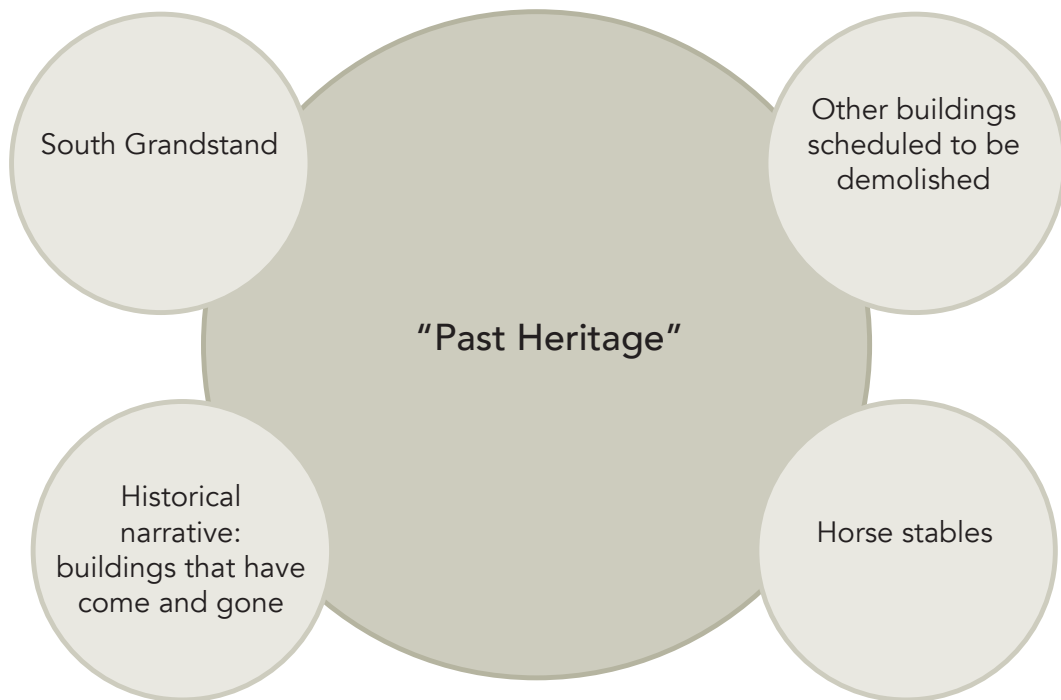
8.7.2 "From Colonial to Modernist Architecture"



8.7.3 "From Bukit Timah Racecourse to Central Park"



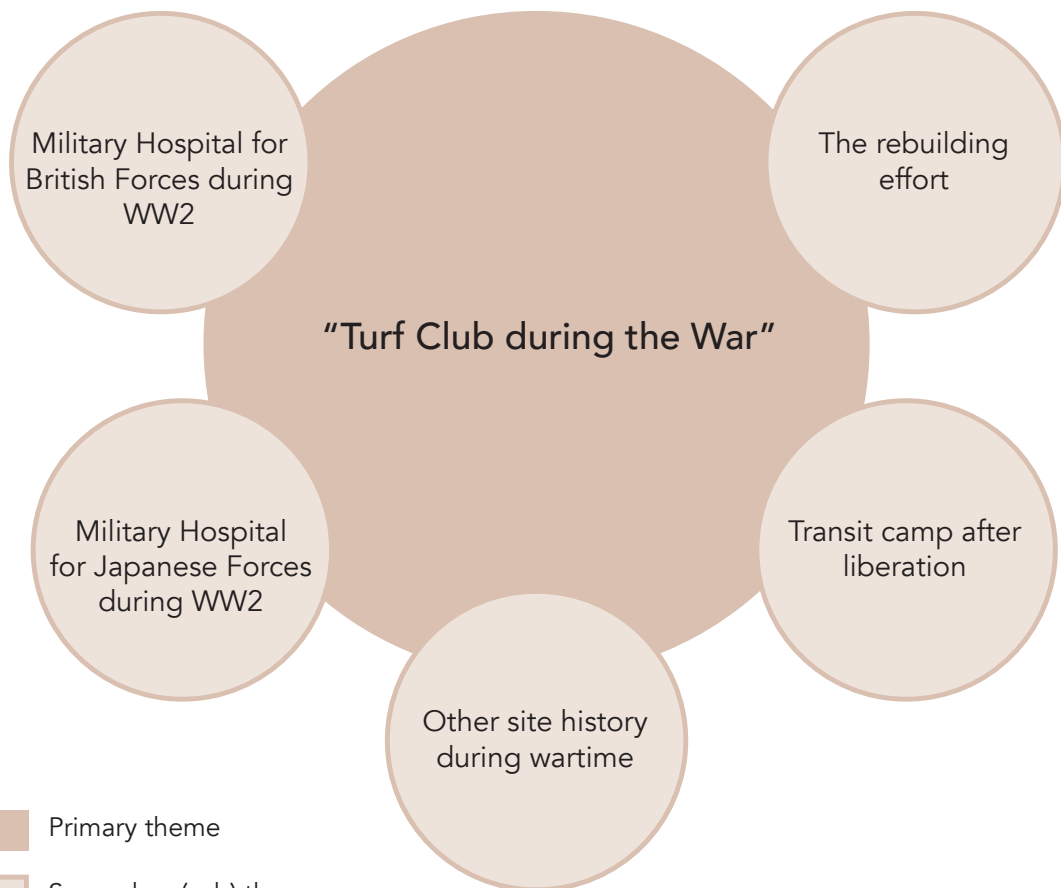
8.7.4 "Past Heritage"



KEY

- Primary theme
- Secondary (sub) theme

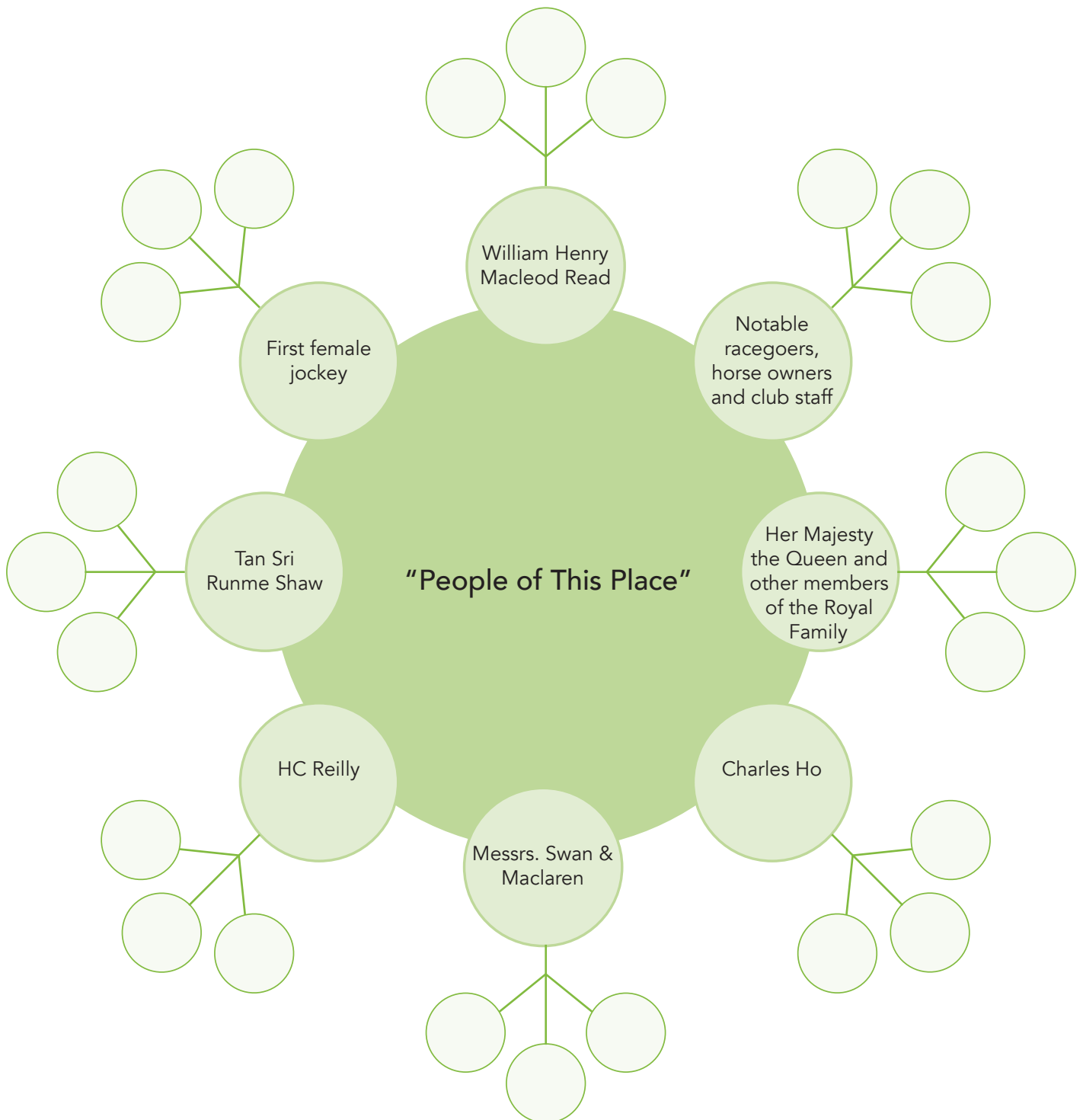
8.7.5 "Turf Club during the War"



KEY

- Primary theme
- Secondary (sub) theme

8.7.6 "The People of This Place"



KEY

- Primary theme
- Secondary (sub) theme
- Tertiary theme

8.7.7 Preliminary recommendations

The following table sets out preliminary proposals for the themes and stories and the tools needed to support them, in what format, and who these may appeal to. The details of interpretation types / tools will be elaborated in Section 8.7 below.

This table should be a live document, which will require further review and development by an interpretation specialist.

Themes/ Stories	Interpretation Types/ Tools	Target Audience
A Tour of Old Turf Club	<ul style="list-style-type: none"> • Heritage signage • Digital media • Historic signs • Conservation works • Displays and exhibitions • Heritage trail and tour • Place making and public art • Souvenirs 	All
From Colonial to Modernist Architecture	<ul style="list-style-type: none"> • Digital media • Conservation works • Displays and exhibitions • Heritage trail and tour • Souvenirs 	Academics Students Specialist interest learners
From Bukit Timah Racecourse to Central Park	<ul style="list-style-type: none"> • Digital media • Place making and public art • Heritage trail and tour 	All
Past Heritage	<ul style="list-style-type: none"> • Digital media • Displays and exhibitions • Commemorative plaques 	Academics Students Specialist interest learners
Turf Club during the War	<ul style="list-style-type: none"> • Digital media • Place making and public art • Displays and exhibitions • Heritage trail and tour • Commemorative plaques 	Academics Students Specialist interest learners
The People of This Place	<ul style="list-style-type: none"> • Digital media • Displays and exhibitions • Heritage trail and tour • Commemorative plaques 	All

Table 8.1: Preliminary recommendations of interpretation types/tools and target audience for the proposed themes

8.8 Types of heritage interpretation and case studies

For a large and complicated heritage site as former Bukit Timah Racecourse, the interpretation should be presented in a range of different media with consideration of the heritage significance, target audience, and site condition.

Different media and interpretive measures are identified in this section; these include: signage; public art; object displays; digital media; and events, such as guided tours. These should be further developed by an interpretation specialist at the relevant project stages – read with Section 8.10.

8.8.1 Community and visitor engagement

Providing access for the community to heritage places supports individual personal experiences that may be shared about a place, which is a means of promoting an understanding of heritage value. These memories and stories can help enrich the interpretation of the site and engage directly with the community on issues of heritage conservation and promotion. Access to the heritage place must however consider minimising disturbance and nuisance to those that reside or work on the site.

A key objective of an interpretation strategy is to encourage a higher level of community engagement, interest, and connectivity to the place, and to encourage visitors make repeat visits. Suggested ways this can be achieved are:

- Public activities, events, exhibitions, etc. related to the site's former use;
- Tours of the retained historic buildings, designed to increase awareness of the site's former use;
- Opportunities for academic development for students and heritage professionals and others in related fields of study in order to share knowledge; and
- Special events to commemorate anniversaries or major milestones in the history of the site, such as racing, diversity, Modernism etc, would provide the means of interpreting the history and importance of the place.

The content of these activities can be tailored to attract specific audiences and to cater to their interests. The use of temporary installations that contribute to broader events and festivals is also helpful.

8.8.2 New standard heritage signage

The future residential precinct will benefit from a standard signage design, which should aim to enhance the identity of the site. This standard heritage signage design should aim to provide:

- Basic information and incorporation of way-finding design, including street name signage, to be embedded in a site-wide signage strategy.
- Site map with identification of heritage assets to improve visitor and staff's awareness of former Bukit Timah Racecourse.
- Permanent and durable signage design with explanation of site/ building history and key values.
- Integration of QR code for additional information deemed necessary.

The signage strategy should be adaptable to a wide variety of circumstances taking account of different locations and content requirements.

Case Study: Tai Kwun, Centre for Heritage and Arts, Hong Kong

The interpretation planning and design at Tai Kwun is an appropriate reference for this project due to the large-scale and richness of the heritage values it contains.

A variety of interpretive means were applied in the project including standard totem/signage design across all new and retained buildings, designated permanent interpretation space, digital media, retention of surviving historic signs and spaces "as found", completed conservation works and other creative approaches, such as: interior artwork and marking the footprint of the radial-plan prison blocks using studs embedded in the floor.

The physical measures are reinforced with self-guided and docent site tours and events and exhibitions. These activate the buildings and the spaces between them and create an "atmosphere" of engagement with the site.



Figure 8.8: Standard totem in Tai Kwun, Centre for Heritage and Arts

Case Study: Tai Kwun, Centre for Heritage and Arts, Hong Kong



Figure 8.9: Exhibition space in Tai Kwun. Source: Tai Kwun



Figure 8.10: Prison cell interpretation space with digital media



Figure 8.11: Designated interpretation space in Tai Kwun



Figure 8.12: Artwork as interpretation.



Figure 8.13: Historic signs

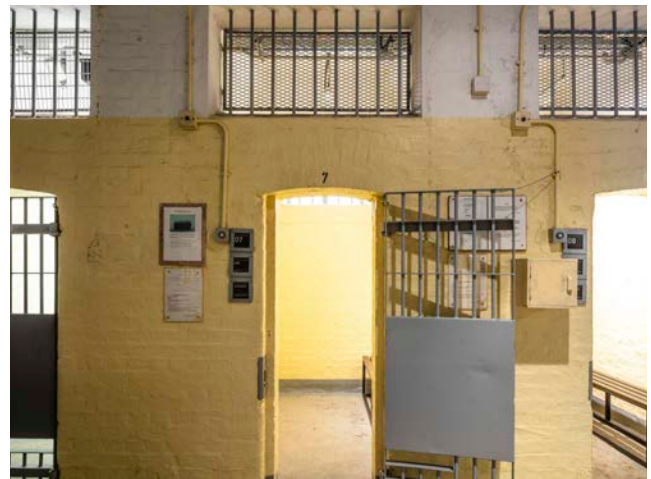


Figure 8.14: Retained prison cell as interpretation space



Figure 8.15: Regular talks and events. Source: Tai Kwun, Centre for Heritage and Arts

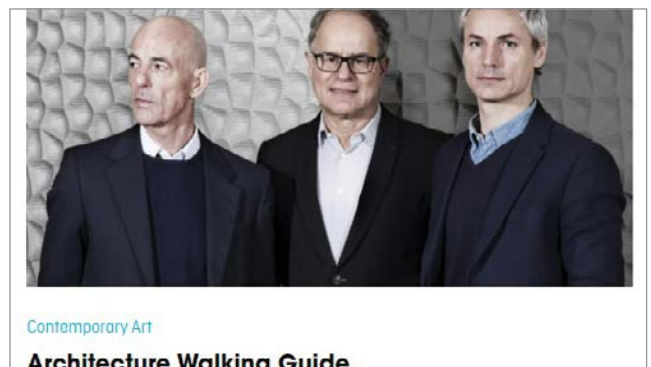


Figure 8.16: Special online event. Source: Tai Kwun, Centre for Heritage and Arts

8.8.3 Digital Media

With the development of modern technology, the interpretation of heritage sites can benefit from techniques such as VR, AR, QR code and mobile apps, etc. These digital media formats enable visitors to explore sites themselves. They can be used remotely is necessary and can even provide immersive and realistic visitor experiences, which has the potential to attract a broader audience. This can also incorporate the information gathered from the comprehensive heritage recording (drawings, 3D laser scanning and photogrammetry, etc.) carried out before the redevelopment. This medium can be used to explain and interpret the changes introduced in the redevelopment project in a three-dimensional format that may assist the user to visualise spatial qualities as well as explain contextual changes in the site. Key considerations may include:

- Development of a website and mobile app.
- Creation of a 3D model with a combination of VR technique to map out the historic development of the site at different times including the past, present and, potentially, the future.
- Representation of buildings/ structures no longer exist through the means of AR.
- A QR code system that is embedded in and integrated with the other interpretive measures.
- Audio/ video resources including oral history, historical footage and time-lapse photography during the construction of the redevelopment works.
- Social media can be used throughout the redevelopment to promote the work in progress. The platform can transition to interpretation and ongoing management of the interpretive events, programmes and to celebrate milestones.

Case Study: Ancient Olympia, Greece

With the use of virtual reality (VR), augmented reality (AR), and 3D technologies, the Ancient Olympia has been recreated digitally so that the rich histories surrounding these monuments become more comprehensive and accessible to future generations.

All image source: Microsoft



Figure 8.17: Combination of AI, VR and AR technologies



Figure 8.18: Desktop version of the project



Figure 8.19 (left) & 20 (right): VR exhibition and mobile app

8.8.4 Surviving historic signs and commemorative plaques

A heritage inventory or schedule of artefacts should be prepared to identify any surviving historic signs within the site. Consideration should be given to selectively preserve and re-use them in the site as an integral part of the redevelopment. These historic signs themselves will form part of the heritage interpretation to provide heritage information and support story-telling activities.

Commemorative plaques can also be considered as they are a modest way to commemorate significant historical events, community engagement or even changes made during the development of the site; for example, key buildings/ structures that once existed on site.

These may also be utilised as part of the wayfinding strategy and visitor navigation – see item 8.8.7.

Case Study: Blue Plaques by Historic England, UK

London's famous blue plaques scheme is a good example showing how commemorative plaques can support heritage interpretation in an easy but effective way. These plaques link the people of the past with the buildings of the present while the scheme itself also gains heritage values since it started in 1866.

All image source: Historic England

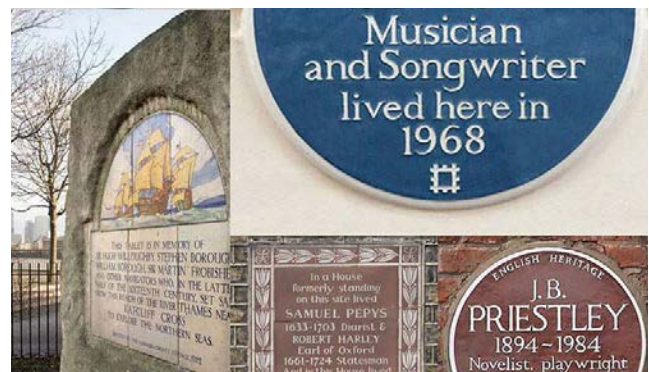


Figure 8.21: Examples of plaques by Historic England



Figure 8.22: Example of blue plaque on historic building



Figure 8.23: New plaques are crafted by the artisan ceramicists

8.8.5 Conservation Works

Restoration, preservation and reconstruction can be seen as a means of interpretation. These actions have the potential to reveal significance and aid in its understanding.

Australia ICOMOS Interpretation Practice Note, 2013

The high-quality conservation strategy and completed repair work is a critical method for interpreting the heritage significance of a historic site or asset. With the adoption of appropriate conservation principles and repair strategies, a successful conservation project will be able to retain and enhance the heritage values of a site or asset, especially when major renovation works (e.g. restoring original colour scheme and finishes) or reconstruction works are carried out.

Opportunities to enable the community to visit and view the conservation works in progress could also be considered, subject to ensuring the necessary health and safety provisions can be fulfilled. This may be of particular interest to heritage and architectural professionals who can gain a greater understanding of trade practices, technical challenges etc.

Case Study: Mural Restoration in Tai Kwun, Hong Kong

The former chapel in Block 10 – Superintendent’s House originally had a painted decorative scheme, which was artistically poor but highly significant as an emblem of religious observance in the context of prison life. It was discovered during the process of removal of modern paint layers. The original scheme was conserved “as found” and has become a key interpretive spot in Tai Kwun.



Figure 8.24: Conservation of paint layers in progress

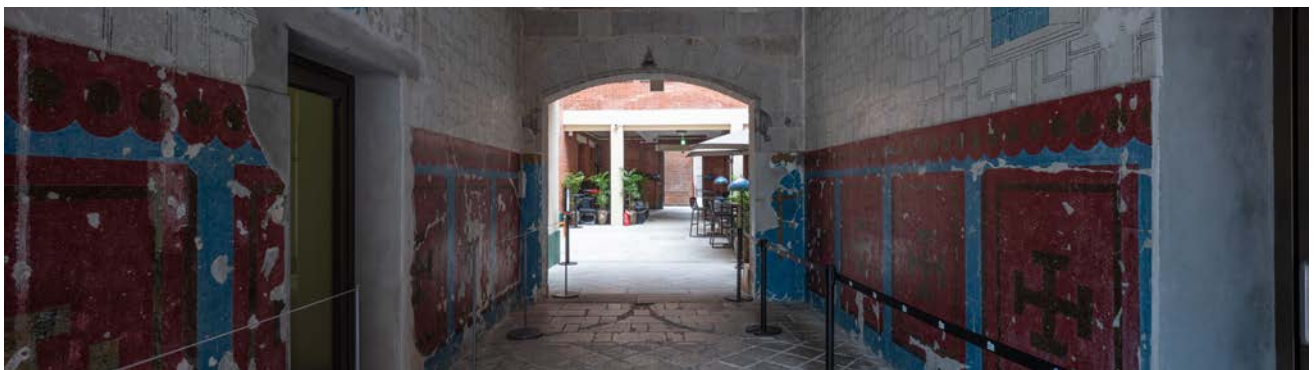


Figure 8.25: Completed mural restoration works

8.8.6 Heritage fabric and object displays

If there are any loose or movable items, these should be identified in the heritage inventory or schedule of artefacts. These can support the interpretation of key historic functions of the site that may not otherwise be evident. They may also enhance the visitors' understanding of the contextual changes in a heritage site. They should be presented in their original location where feasible to ensure the interpretive heritage value is authentic. Where these items may be salvaged from a building/structure due to be demolished, these items may be curated within an exhibition space. These may also form part of a wider Turf Club artefact collection, potentially located off-site.

This also applies to any archaeological findings during site excavation works related to buildings/structures that no longer exist. They can function as tangible reminders of the story-telling of the site's history and past uses.

As a highly popular venue, Bukit Timah Racecourse will have induced some vivid memories in the very many people who visited and worked there over the years. These memories represent a valuable resource that should be tapped to support the interpretation measures. Recorded memories, personal photographs and video clips, TV footage etc can often provide valuable information that would be of interest to stakeholders. The presentation of objects may be limited by the factual knowledge that is available. It is important therefore to confine factual statements to what is known with reasonable certainty and to identify gaps in knowledge honestly. The interpretation of objects should consider what pieces of information you need to include about it, considering some of the following:

- What new piece of information would you like the visitor to know when they move on from the object?
- Why does the information you're conveying to the visitor matter to their lives?
- Have you shared with the visitor any information they're unlikely to know already?
- Is the information readily understandable without being overly simplified?

At the beginning of the interpretive journey, there must be a clear understanding of its aims and objectives, which should be based on what the visitor would like to get from the visit. Some community engagement may be necessary to support this understanding.

Case Study: Chatham Dockyard, UK

The conservation principle was to adopt a minimum intervention. The original Georgian brick walls and wrought iron (later steel) roof structures have been repaired using compatible materials with sound elements and historic objects left in their raw state, thus retaining their patina of age. Visitors are able to interpret the objects as they would have appeared when they were in use.



Figure 8.26: Historic objects are left in their raw state, retaining the patina of age

Case Study: Tai Kwun, Hong Kong

At Tai Kwun, loose and movable objects/ artefacts that remained onsite after decommissioning included furniture such as chairs and desks, prisoner beds, a mortuary slab, and framed maps. Some of these elements have been incorporated within the interpretation fit out. In Block 14 D Hall, the mortuary, including the slab, have been preserved almost as found, barring the addition of emergency lighting. Also, one of the restored cells in Block 12 B Hall has been set up to recreate the prisoner living environment. A salvaged prisoner bunk bed demonstrates to the public the cramped conditions.



Figure 8.27 and 8.28: Recreated prison cell with historic prison bunk bed – before (left) and after (right)

Case Study: Kingston and Arthur's Vale Historic Area, Australia

KAVHA retains a collection of over 40 historic structures and standing ruins, including preserved boats in the landscape. The site has been managed as a cultural heritage portfolio from the 1980s, following an initial program of conservation works in the 1960s. It is one of the 11 properties forming the Australian Convict Sites World Heritage Listing.



Figure 8.29: Preserved boat and shed



Figure 8.30: Preserved ruins and boat in situ



Figure 8.31: Looking down onto the old penal ruins at the site

Case Study: Grytviken Whaling Station, South Georgia

The whaling station at Grytviken is internationally significant as the first shore-based whaling station for Antarctic whaling, and for its associations with Carl Anton Larsen and explorer Sir Ernest Shackleton. Original historic elements including a whaling shop and factory components, have been retained insitu, and left to speak for themselves.



Figure 8.32: Factory ruins



Figure 8.33: Whaling ship



Figure 8.34: Factory ruins

8.8.7 Place making and public art

Place making and public art installations, particularly those located outdoors, should be developed as part of the landscape design and thereby add another layer to the interpretation of a heritage site. This is crucial for large sites like the future Turf City where original landscape elements, topography and spatial quality are the key characteristics and positive contributors to its heritage values.

‘Place-making’ is an approach to the planning, design and management of public spaces that engages with the community to create places that promote liveability, contribute to local identity and social value.

The setting of heritage places can be enhanced through place-making techniques and the introduction of temporary or permanent public art that interprets the significance of a place. Interpretation works can include:

- Temporary site hoardings or signage with heritage content during construction works.
- Using historic people’s names in signage (such as the street names) to convey the history of the place.
- Installation of public art or murals that creatively represent the history or associations with a place. This may include reuse of elements arising from demolitions, for example, to create site art installations.
- Display of text and historic images on new building fabric and surface finishes.
- Landscaping works to improve the setting and presentation of a place which may include conserving or reinstating the footprint of particular structures.

Public art can either be bespoke art creation by local/ international artists with themes based on the history of the site, re-creation by using recycled redundant historic fabric or even as part of the community engagement activities.

Permanent installation should consider the connections between the new installation and the site’s history to ensure the interpretive information is well communicated with the audience, including users, visitors and tourists, without ambiguity.

Like any public transport node, the new CR14 railway station is a good opportunity to contribute to the spirit of place and heritage significance of Turf City at the point of arrival at the site. The reuse of artefacts and other materials associated with the site's former use can be important contributors to public art throughout the station concourse.

Any typical railway station concourse creates large expanses of wall surface, for the most part unadorned with window openings. This building typography therefore offers scope for the display of artefacts and/or artwork in multiple locations and at large scale. Such installations can often play a useful role in improving wayfinding, as well as providing important information to promote an understanding of the place and to guide the interpretation of the entire redevelopment.

Since a variety of installations can be considered, these can be emotive and seek to stimulate different emotions, contributing to a multi-faceted sensory experience. Examples of this include:

- Sculptures and installations at platform, concourse, and peripheral levels of the station
- Digital timeline of historical photos, videos etc
- Enrich surface finishes with references to the community
- Sound devices in the station – such as recreating the sound of race days
- Interactive devices such as QR codes in significant areas
- Artefact display zones on the concourse
- Railway ticket design

Station artworks can have a unifying effect on the community, serving as a focal point for both commuters and the people from elsewhere who visit. A well-considered station design that prioritises place-making and public art will not only improve aesthetics, it can promote intangible heritage, for example by evoking memories of past times and events.

To enhance public engagement and to ensure the new Turf City community spirit is embedded within the station design, there are opportunities to introduce public art from design competitions that could be structured around the various themes identified in Section 8.7.

Case Study: Multiple MTR stations in Hong Kong

Artwork in railway stations enriches the aesthetics. It is a unique way to represent the community's identity where the station is located. It can evoke memories of passengers that use the station. Artworks and/or installations, often in the form of interpretation, can be displayed in a range of spaces including the platforms, the station concourse, along exit routes, and within the entrances. This approach has been employed successfully implemented by the MTR in Hong Kong. Station art sits harmoniously within the MTRs distinctive approach of assigning colour to each individual station.



Figure 8.35: 'Earth Song' is an artwork inspired by the Song Dynasty ceramics unearthed at the Sung Wong Toi station. (Source: artinmtr.com.hk)



Figure 8.36: 'Blooming Bud' is an installation in the concourse of Kennedy Town station. (Source: artinhk.com.hk)

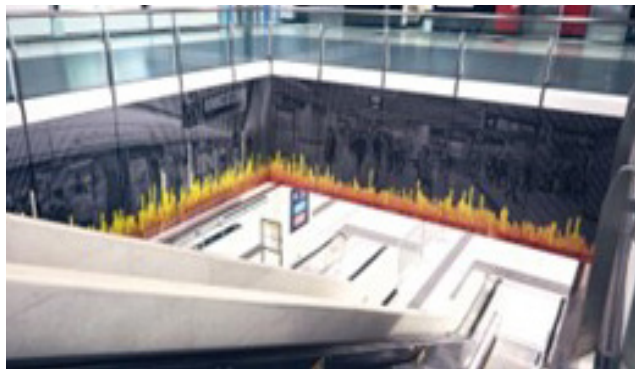


Figure 8.37: 'Soundscape Journey' is a collage visualising sounds in the railway. (Source: artinmtr.com.hk)



Figure 8.38: 'Inside, Outside' is a bas relief installation in the entrance and exit lift lobby of Sai Ying Pun station. (Source: artinmtr.com.hk)

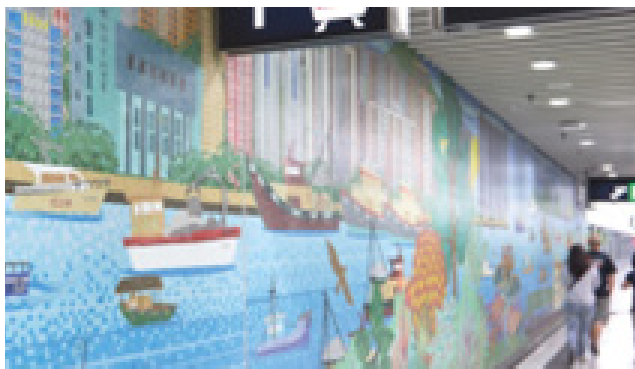


Figure 8.39: 'Soaring Horizon', a mosaic tiles artwork showing typical life in the district. 120 local students were involved in this work placed in the platform of South Horizons station. (Source: artinmtr.com.hk)



Figure 8.40: Indicative location of historic well in Sung Wong Toi station (Source: artinmtr.com.hk)



Figure 8.41: HKU Centennial Wall & University Historic Buildings showing the timeline of HKU in the station's entrance and exit lift lobby. (Source: artinmtr.com.hk)



Figure 8.42: Exhibition zone displaying artefacts unearthed at the Sung Wong Toi station. (Source: artinmtr.com.hk)



Figure 8.43: 'Streets and Alleys of the Western District' is a series of colour drawings in HKU station lift lobby and lift interiors showing the area's rich history. (Source: artinmtr.com.hk)



Figure 8.44: 'Sunshine on Our Quilt' is an artwork on the glass outdoor canopy and landscape area of the station. The work is inspired by the patchwork of residents' quilts hanging on street railing. (Source: artinmtr.com.hk)



Figure 8.45: Ticket design showing a map with landmarks of Kennedy Town. (Source: prlog.org)

Case Study: Domino Park, New York, United States

The project integrates over 30 large-scale salvaged relics, including 21 original columns, gantry gates, screw conveyors, bucket conveyors and syrup tanks into an interpretive and educational "Artifact Walk", which retains and enhances the sense of place as the original sugar factory.



Figure 8.46: Art work by screw conveyors. Source: Daniel Levin

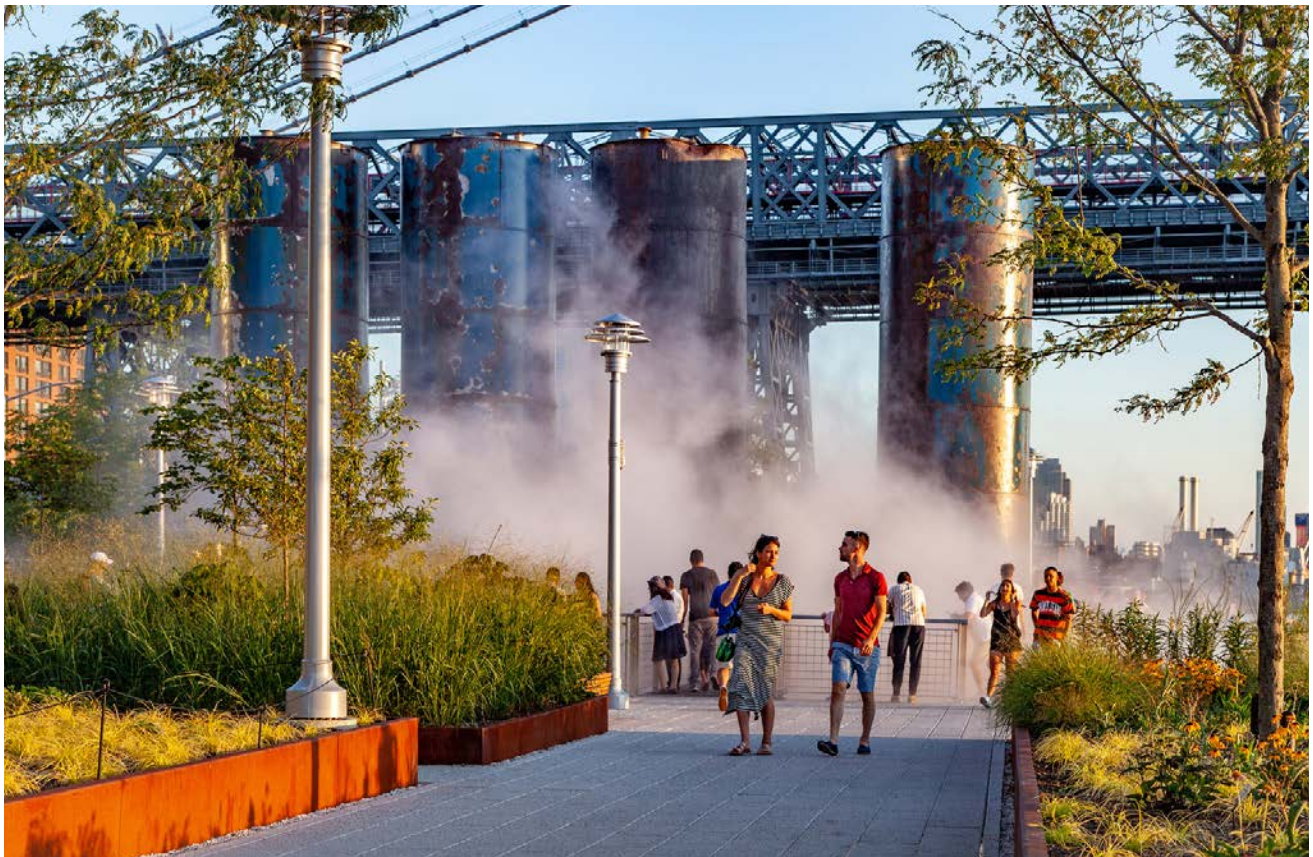


Figure 8.47: Preserved syrup tanks as public art. Source: Archdaily



Figure 8.48: Overview of the site. Source: Archdaily



Figure 8.49: "The Chronicles of New York" Mural. Source: Hypebeast

8.8.8 Heritage trail and tour

Heritage trails and tours, and open days for a targeted audience to visit significant places are a vital means to promote cultural heritage. A heritage trail is a well recognised medium to encourage community engagement in the site, and its implementation would allow visitors to discover the history of the former Bukit Timah Racecourse, either self-guided or guided by a docent.

A heritage trail at the former Bukit Timah Racecourse can make use of the proposed building cluster and pedestrian heritage loop as indicated in the redevelopment plan with further design development from an interpretation specialist designer. The heritage trail would be able to act as the catalyst to integrate all the other adopted interpretive measures, including physical signage, QR code, digital media, exhibition space, and a variety of outdoor installations.

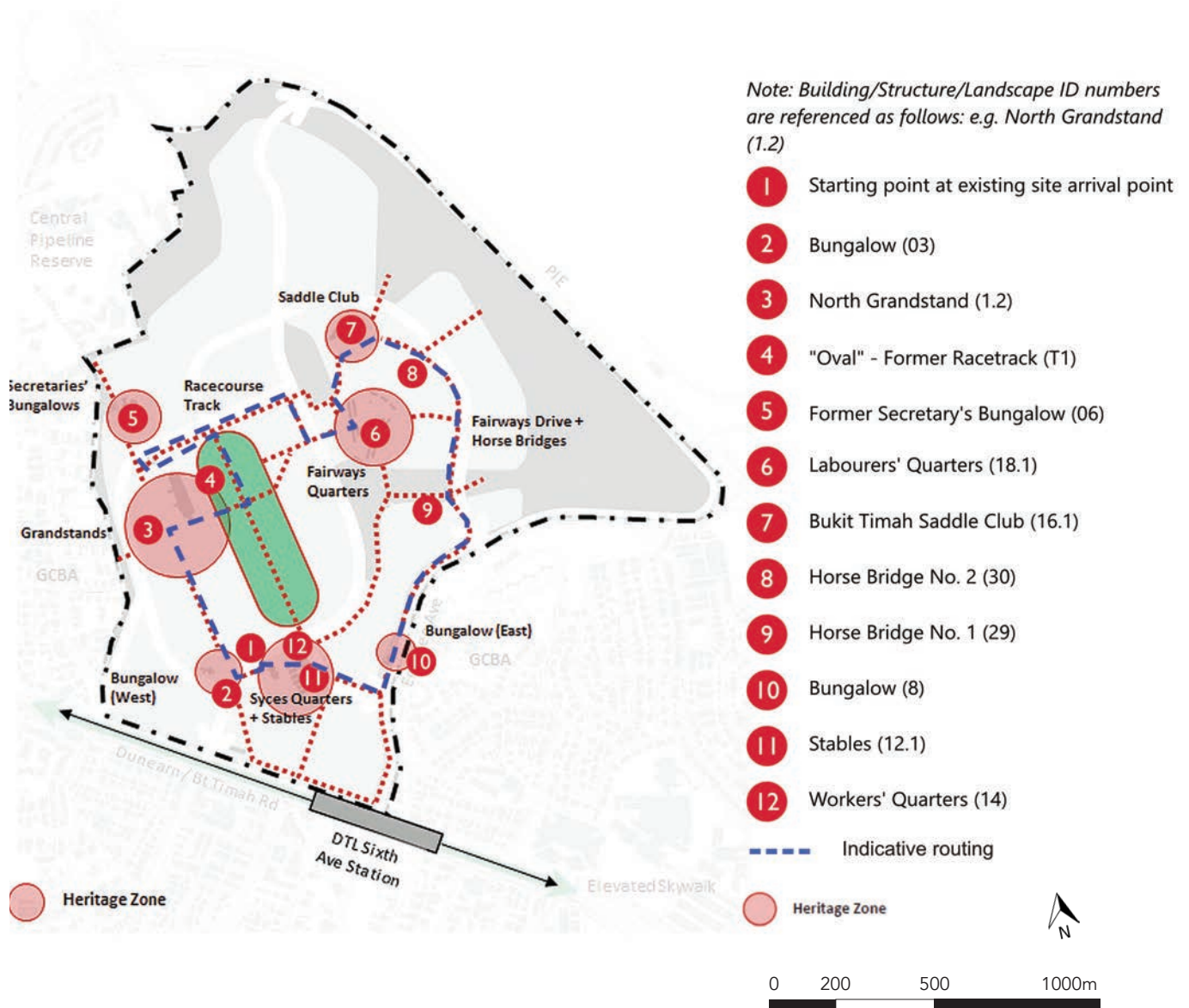


Figure 8.50: Provisional heritage trail routing. (Source: URA, plan adapted by Author)

A self-guided tour may utilise technology, with audio through personal electronic devices. A regular guided tour led by docents could target the public, schools, special events etc, and focus on specific themes and topics can also be arranged to cater for different target audiences. The guided tour offers a more interactive format, and may afford audience members the opportunity to ask questions and obtain a more in-depth introduction to specific aspects of the site’s history and associated heritage values. Guided tours offer a potential interface with the community by providing an opportunity to engage the community members in the actual heritage interpretation process and its evolution. The community may further contribute by taking up docent roles.

For the site, apart from its own heritage trail within the former Bukit Timah Racecourse site, considerations should be given to incorporate the overall history of Bukit Timah as well as other existing heritage trails in the district ¹, including:

- Kampong Life Trail
- WWII Legacy Trail
- Learning and Leisure Trail

Case Study: Docent Tours in Tai Kwun



Figure 8.51: Heritage guided tour. Source: Tai Kwun



Figure 8.52: Heritage education activities. Source: Tai Kwun

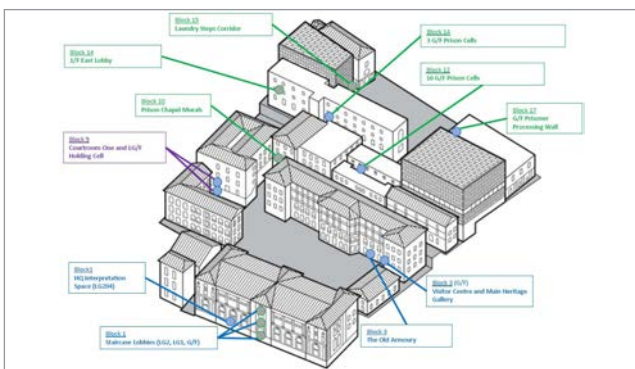


Figure 8.53: Interpretation routing in Tai Kwun



Figure 8.54: Special docent tours

Case Study: Heritage Trail



Figure.8.55: Cannock Heritage Trail, UK. Source: Cannock Chase Heritage Trail website

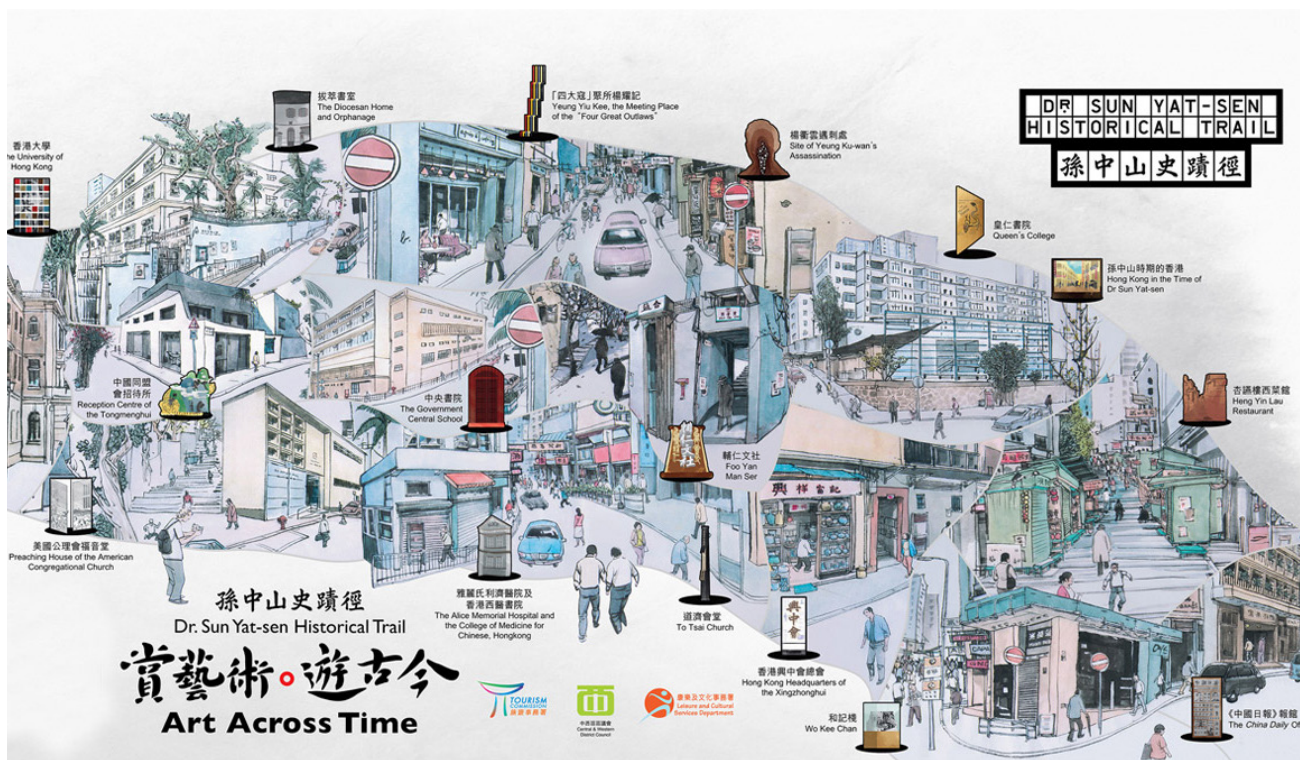


Figure.8.56: Dr Sun Yat-sen Historical Trail, Hong Kong. Source: Hong Kong Tourist Board

8.8.9 Revenue generation and souvenirs

The operating model for the interpretive design should be constructed either on a not-for-profit basis, or as a revenue generating activity. Either way, any income from tours and events etc might be necessary to offset any costs of docents.

There may be opportunities for heritage souvenir design and marketing becoming catalyst for the site redevelopment and branding.

Case Study: Palace Museum, Beijing, China

The souvenir marketing by Palace Museum in Beijing in recent years has developed from museum gift store a lifestyle products brand and has proved highly successful. The potential is likely to be highly dependent upon the nature, and significance, of the heritage asset.



Figure 8.57 (left) and 8.58 (right): Souvenirs by Palace Museum. Image source: Palace Museum Official Shop on Taobao

8.8.10 Social value activities

The interpretation plan may demonstrate how social, economic and environmental value can benefit communities. 'Value' is seen as:

- Social: learning and development opportunities, which may also consider opportunities for education during the redevelopment works.
- Economic: supporting local employment, such as through heritage docents.
- Environmental: benefits may be linked to some form of carbon reduction commitments.

8.9 Key Consideration for Interpretation

8.9.1 Heritage guidelines

This heritage interpretation plan has been prepared referencing key international guidelines on interpretation best-practice as follows:

1. The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013;
2. The ICOMOS Charter on the Interpretation and Presentation of Cultural Heritage Sites (The Ename Charter), 2008; and
3. Associated practice notes.

The following section outlines each charter individually and the relevant guidelines, as well as other key considerations including consultation and participation; sustainability, maintenance and design; and engaging artists and curators.

8.9.1.1 Burra Charter

Interpretation means all the ways of presenting the cultural significance of a place. Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the place; and the use of introduced explanatory material. Article 1.17

Conservation, interpretation and management of a place should provide for the participation of people for whom the place has significant associations and meanings, or who have social, spiritual or other cultural responsibilities for the place. Article 12

The cultural significance of many places is not readily apparent, and should be explained by interpretation. Interpretation should enhance understanding and engagement, and be culturally appropriate. In some circumstances any form of interpretation may be culturally inappropriate. Article 25

8.9.1.2 Ename Charter

“To define the basic principles of Interpretation and Presentation as essential components of heritage conservation efforts and as a means of enhancing public appreciation and understanding of cultural heritage sites.”

“Interpretation refers to the full range of potential activities intended to heighten public awareness and enhance understanding of cultural heritage site. These can include print and electronic publications, public lectures, on-site and directly related off-site installations, educational programmes, community activities, and ongoing research, training, and evaluation of the interpretation process itself.”

“From the vast range of surviving material remains and intangible values of past communities and civilisations, the choice of what to preserve, how to preserve it, and how it is to be presented to the public are all elements of site interpretation. They represent every generation’s vision of what is significant, what is important, and why material remains from the past should be passed on to generations yet to come.”

Principle 1: Access and Understanding

Interpretation and presentation programmes should facilitate physical and intellectual access by the public to cultural heritage sites.

Principle 2: Information Sources

Interpretation and presentation should be based on evidence gathered through accepted scientific and scholarly methods as well as from living cultural traditions.

Principle 3: Context and Setting

The Interpretation and Presentation of cultural heritage sites should relate to their wider social, cultural, historical, and natural contexts and settings.

Principle 4: Authenticity

The Interpretation and presentation of cultural heritage sites must respect the basic tenets of authenticity in the spirit of the Nara Document (1994).

Principle 5: Sustainability

The interpretation plan for a cultural heritage site must be sensitive to its natural and cultural environment, with social, financial, and environmental sustainability among its central goals.

Principle 6: Inclusiveness

The Interpretation and Presentation of cultural heritage sites must be the result of meaningful collaboration between heritage professionals, host and associated communities, and other stakeholders.

Principle 7: Research, Training, and Evaluation

Continuing research, training, and evaluation are essential components of the interpretation of a cultural heritage site.

8.9.2 Consultation and participation

Engagement with local communities, long-term employees/ users, different stakeholders and people with special interests or contributions to a heritage site/asset is a must to deliver a successful heritage interpretation project. There are various ways of consultation and participation that can support this community engagement, such as:

- Surveys (including online, street intercept and traditional questionnaire);
- Interviews and oral histories;
- Community/ focus group workshops; and
- Events or open days.

In order to fully interpret different aspects of the heritage values of a place, the interpretation project should allow sufficient engagements with people from different backgrounds, both culturally and ethnically, covering different periods of time so that the past and present associations with the place can be identified and addressed.

Early consultation and participation will benefit a more successful redevelopment design that is more community-engaged. It is therefore recommended to carry out relevant consultation both as part of the project design and project interpretation planning.

8.9.3 Sustainability, maintenance and design

The durability and easy-maintenance of the proposed physical interpretation installations are also key factors to consider when developing the interpretation project. The intention should be to reduce the need for maintenance and life-cycle costs via every possible means, including:

- Material selection;
- Foreseeing potential deterioration and repair methods;
- Early cost estimate for regular maintenance; and
- Possible graffiti or vandalism and its remedy.

The potential of taking ownership of the public realm can have tangible benefits by for example reducing graffiti. For example, organized public artwork or recycling of redundant heritage materials could both function as interpretation works and promote care of the environment.

8.9.4 Engaging artists and curators

Early engagement of a curator for a large heritage site such as this is important to understand more the practical requirements that will arise, which can then be incorporated into the interpretation design.

Once a more detailed interpretation design is available, local or international artists can be approached and engaged to further develop the design as well as the technical aspects including maintenance discussed in the above section. An artist programme can also be considered for the long-term management of the future interpretation activities on site.

8.10 Interpretation action plan

“Planning for interpretation should start at the beginning of a conservation project and then be integrated into each stage.”

Source: NSW Heritage Office, Interpreting Heritage Places and Items: Guidelines, 2000

To ensure a successful, engaging and collaborative interpretation of heritage sites, an early integration of interpretive planning in the project delivery as well as the overall heritage planning and management is crucial.

Where an interpretation project is being delivered as part of a broader scope of works, its success will rely on project teams considering interpretation works early in the project design and scoping stages. The plan is based on research and identifies primary and secondary themes, storylines, available resources, stakeholders and audiences. This plan has included practical and specific advice about potential implementation, and recommended interpretation media and content to be developed by an interpretation specialist consultant.

This Interpretation Plan is the first stage in the development of interpretation at the former Bukit Timah Racecourse. The following table outlines the relevant phases with different tasks and milestones to showcase the ideal life-cycle of an interpretation works package:

Phase	Task and Milestone
1	<p>Initiation and Interpretation Planning</p> <ul style="list-style-type: none">• Conduct background research and analysis• Establish the understanding and heritage significance of the project area• Prepare interpretation plan to outline guidelines, targeted audience and potential themes• Identify site opportunities and types of interpretive media and approaches• Gather relevant archival records and other information including oral interviews• Identify relevant internal and external stakeholders including long-term or previous staff, jockeys, local community residents and interested groups.• Carry out early public consultation if necessary.

Phase	Task and Milestone
2	<p>Consultation and Concept Design</p> <ul style="list-style-type: none"> • Develop a draft interpretation concept design for stakeholder consultation including evaluation of options for different interpretive media and approaches • Conduct workshops and meetings with stakeholders for coordination of detailed requirements • Finalize interpretation concept design • Determine if further review by other expertise (eg. urban design, public art and communication) is required. • Update the interpretation plan if needed.
3	<p>Schematic Design</p> <ul style="list-style-type: none"> • Develop and finalize interpretation schematic design • Determine if further review by other expertise (eg. urban design, public art and communication) is required. • Confirm resources, special trades or specialists required to implement the interpretation works package
4	<p>Heritage and Statutory Approval</p> <ul style="list-style-type: none"> • Prepare a heritage impact assessment for the proposed interpretation works together with the updated interpretation plan and design proposals to seek approval from statutory bodies if applicable. • This might form part of a statutory planning application.
5	<p>Detail Design</p> <ul style="list-style-type: none"> • Identify any further consultation required with the identified stakeholders and local community • Coordinate with the project design team to review any updates required • Finalize the detail design drawings and specification • Engage specialist suppliers and artists if needed
6	<p>Site Implementation</p> <ul style="list-style-type: none"> • Undertake and monitor the works in accordance with the approved design • Identify opportunities during construction to promote the in-progress conservation works and engage with interested stakeholders
7	<p>Project Completion</p> <ul style="list-style-type: none"> • Completion and handover to future facility manager or interpretation curator, including specific maintenance plans for the completed interpretation works

Table 8.2: Interpretation action plan

9.0 Impact Assessment and Mitigation Measures

9.1 Introduction

This Heritage Impact Assessment (HIA) is for the Project 'Redevelopment of the former Bukit Timah Racecourse'. This section aims to evaluate the proposed conceptual land use plan and facilities for transforming the former Bukit Timah Racecourse into a residential community with supporting civic amenities.



Figure 9.1: Existing site base plan (left) and proposed scheme (right). (Source: URA)

This assessment has been prepared as a requirement of the Heritage Research Study for the Urban Redevelopment Authority (URA).

The primary objectives of this impact assessment are:

- To identify possible impacts to the Site and the cultural significance of the various buildings/ structures/spaces contained within Site (if any) due to the proposed redevelopment
- To propose mitigation measures to alleviate adverse impacts to significant fabric
- To provide recommendation on the future implementation of the proposed mitigation measures

The assessment has been prepared based on the scheme provided by URA, and is informed by site observations, description of the site, and assessment of its heritage significance (as detailed across sections 4 and 5).

For details on the scheme provided by the Urban Redevelopment Authority, refer to figure 9.2.

9.2 Assessment

9.2.1 Definitions of Terms

The five levels of significance that have been used to describe the character-defining elements individually in this HIA follow the definitions set out in the table 1.5. For the purposes of the impact assessment, only the significance level will be referenced, not the individual score.

The significance of the effect of change – i.e. the overall impact - on a heritage value a function of the importance of the value and the scale of change. This can be summarized for each heritage value, the scale of change, and for each attribute described using the assessment criteria in table 9.1 below. As change or impacts may be harmful (negative), beneficial (positive) or even none (neutral), in total there are seven evaluation points used in the impact assessment.

	Level of Impact	Definition
Positive	Highly Beneficial	The proposal considerably enhances the significance of the heritage asset(s), and/or the ability to appreciate its heritage values.
	Moderately Beneficial	The proposal enhances to a clearly discernible extent the significance of the heritage asset(s) and/or the ability to appreciate its heritage values.
	Minimally beneficial	The proposal enhances to a minor extent the significance of the heritage asset(s), and/or the ability to appreciate its heritage values.
Neutral	Neutral	The proposal does not change the significance of the heritage asset(s), and/or the ability to appreciate its heritage values.
Negative (if no mitigating measures present)	Minimally Adverse	The proposal damages to a minor extent the significance of the heritage asset(s), and/or the ability to appreciate its heritage values.
	Moderately Adverse	The proposal damages to a clearly discernible extent the significance of the heritage asset(s), and/or the ability to appreciate its heritage values.
	Highly Adverse	The proposal substantially damages the significance of the heritage asset(s) and/or the ability to appreciate its heritage values.

Table 9.1: Assessment Criteria. (Source: Author)

9.3 Project Aim

The project aim is to redevelop the site of the former Bukit Timah Racecourse as a new residential district, which for the purpose of this study shall be known as Turf City. The site will house residential dwellings, together with supporting amenities. The site will offer residents, tenants and visitors parkland and public open space. The vision statement prepared by the URA is stated below:

“Inspired by its setting, Turf City is envisaged as a residential community of the future with a unique sense of place and identity that celebrates its equestrian heritage and leverages on its assets as a former racecourse. Structure plans attempt to consider how significant historical buildings and landscapes can be retained and re-purposed to create a new civic heart for the community. The varied green spaces within the site are re-imagined as a network of delightful and connected landscapes creating opportunities for communal living, playing, exploring and bonding amidst nature.”¹

9.4 Project Design Strategies

The following five key strategies² were adopted to guide URA’s planning and design process.

1. Celebrate heritage by strengthening links to the site’s history to enhance a sense of place
2. Revitalise “green and blue” by refreshing and providing access to the site’s varied landscape features as well as utilising greenery along the edge of the site as a buffer
3. Improve accessibility and walkability.
4. Curate vibrant streets and delightful spaces
5. Develop with context by rejuvenating and repurposing heritage buildings, structures and landscapes with new developments in a meaningful way.

1 URA

2 URA

9.5 Proposed Conceptual Land Use Plan and Facilities

The proposed conceptual land use plan (Fig.9.2) aims to redevelop the former Bukit Timah Racecourse to create a residential district with supporting civic amenities, which include connections to the existing public transportation including the Mass Rapid Transit (MRT), parks and open spaces.

The proposed redevelopment will retain selective elements of the former Bukit Timah Turf Club and existing Bukit Timah Saddle Club site to contribute to Turf City's unique sense of place and identity.

According to the proposed preliminary conceptual land use plan (Fig 9.2 and Table 9.2), most of the existing buildings and structures will be demolished, whilst a select number will be retained and proposed for adaptive reuse. Where buildings are retained, they will inevitably require updating to meet current standards of structural integrity, environmental conditioning (including services upgrades), conservation of historic fabric to remain fit for purpose.

It may be necessary to commission a conservation management plan to continue the work of managing change being undertaken in this report. This would help articulate why any particular asset is significant and how its significance and heritage values may be preserved and enhanced in the context of any new use, alteration, repair or change.

The URA has stated that the proposed preliminary development plan and layout of the new buildings is driven by the existing topography and the site's biodiversity, which includes large areas of landscaping, including forestry. The road network is designed to avoid significant changes in levels as well as major excavation works, where possible. It is expected that some re-contouring of the site may be necessary to meet technical requirements associated with the construction of new buildings and roads.

The plan is structured to retain clusters of heritage properties, set amongst the new buildings. This will enable occupants and visitors a connection to the site's former use, which will be supported by a new "heritage loop" with enhanced accessibility. The layout of the road and pedestrian network will enable a range of short and distant views to the historic buildings as well as provide appropriate physical access.

The plan intends to retain the North Grandstand only. It also proposes to shift the footprint of the inner racetrack closer to the retained grandstand, which will alter the spatial context between the building and the track. There is no current proposal for the retained inner track, but there is a central ravine which will be incorporated in the design, but at this stage the rationale behind its retention and use is not clear.

The current schematic plan means, most of the former racing support facilities such as stable blocks, workers' quarters, labourers' quarters and the exercise ring will not be retained.

Several residential properties (Bungalows at 32, 192, 198 and 232 Turf Club Road) will be retained, but the conceptual plan is not sufficiently defined at this stage to be able to ascertain whether the site boundaries around the individual bungalows will be altered. It is clear, however, that the spatial context of these buildings will be impacted by the multi-storey buildings proposed to be built nearby.

For ease, we have categorized the proposed development impacts on the sites heritage values under the following three headings:

1. Buildings/ structure/ other elements proposed for retention (Refer to Fig. 9.3)
2. Buildings/ structure/ other elements proposed for partial retention / partial demolition (Refer to Fig. 9.3)
3. Buildings/ structure/ other elements proposed to be demolished (Refer to Fig. 9.4)

A combined summary is provided in Table 9.2.

Key views within the site and/or from buildings identified within Chapter 4, will be impacted based on the current massing proposals. In particular, this concerns views from the retained grandstand to forested areas to the east, which will be blocked by the development and limit the site's openness. It is recommended that key views identified in the study are integrated into the development plans to ensure that the extant sense of arrival is not lost, and that the connection between extant buildings and the landscape is preserved.

Under a separate commission, an environmental study is being carried out. The output from this and the extent of ecological and botanical value is not yet known. Once this is completed, it may be necessary to review and update this impact assessment.

In respect of the retained heritage properties, suggestions for the adaptive reuse include focusing the new program of public facilities within these buildings. However, at the time of preparing this HIA, detailed proposals for the future uses or proposed interventions have not yet been confirmed. We recommend that a feasibility study is commissioned for these buildings to examine the degree of compatibility with the proposed uses. This would include the preparation of an accommodation schedule.

Since this HIA is limited to a preliminary assessment based on the proposed conceptual plan only, it is recommended that this HIA remains live and it should be updated as detailed proposals for each retained heritage building/ structure (including the setting of them) emerge. If other design schemes are presented, it is recommend that these follow the same impact assessment methodology as outlined in this report.

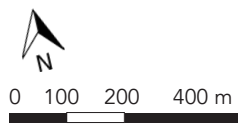




Figure 9.2: Proposed redevelopment plan (Source: URA, Singapore.)

-  Buildings/ structure/ other elements scheduled for retention.
-  Buildings/ structure/ other elements scheduled for partial retention / partial demolition

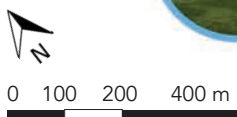


Figure 9.3: Diagram showing the buildings/ structure/ other elements scheduled for retention or partial retention/ demolition.

○ Buildings/ structure/ other elements scheduled for complete demolition.

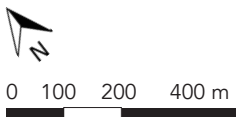


Figure 9.4: Buildings/ structure/ other elements scheduled for complete demolition.

Building/ Structure/ Other ID No.	Building/Structure/Other Name	Proposed scheme
1.1	South Grandstand	To be demolished
1.2	North Grandstand	To be retained
2	Carpark	To be demolished
3	Bungalow at 232 Turf Club Road	To be retained
4	Bungalow at 234 Turf Club Road	To be demolished
5	Bungalow at 236 Turf Club Road	To be demolished
6	Duplex Flat at 192 Turf Club Road (Formerly Secretary's Bungalow)	To be retained
7	Secretary's Bungalow at 198 Turf Club Road (Formerly Deputy Secretary's Bungalow)	To be retained
8	Bungalow at 32 Turf Club Road	To be retained
9	Bungalow at 34 Turf Club Road	To be demolished
10	Bungalow at 36 Turf Club Road	To be demolished
11.1	Syces' Quarters at 2 Turf Club Road	To be demolished
11.2	Labourers' Quarters at 2 Turf Club Road	To be demolished
12.1	Stables at 100 Turf Club Road	To be partially demolished
12.2	Feed Room at 100 Turf Club Road	To be demolished
13	Stables at 104 Turf Club Road	To be demolished
14	Workers' Quarters at 100 Turf Club Road	To be retained
15	Stables at 110 Turf Club Road	To be demolished
16.1	Club House at 51 Fairways Drive	To be retained
16.2	Stables at 51 Fairways Drive	To be demolished
17	Fairways Bungalow at 55 Fairways Drive including mature trees within carpark areas	To be retained
18.1	Labourers' Quarters at 53 Fairways Drive including central courtyard space	To be partially demolished
18.2	Community Centre at 53 Fairways Drive	To be retained

Building/ Structure/ Other ID No.	Building/Structure/Other Name	Proposed scheme
19	Hay Barn	To be demolished
20	Stables at 100 Turf Club Road	To be demolished
21	Basketball court shelter, 100 Turf Club Road	To be demolished
22	Tennis court shelter, Turf Club Road	To be demolished
23	Basketball court shelter, Turf Club Road	To be demolished
24	Sheltered sporting arena, Turf Club Road	To be demolished
25	Container blocks, Turf Club Road	To be demolished
26	Indoor sporting arena, Turf Club Road	To be demolished
27	Saddling Boxes, 200 Turf Club Road	To be demolished
28	Saddling Stalls, 200 Turf Club Road	To be demolished
29	Horse Bridge No.1	To be retained
30	Horse Bridge No.2	To be retained
31	Abandoned Hot Walker	To be demolished
T1	Main Track	To be partially demolished
T2	Parade Ring	To be demolished
T3	Exercise Ring	To be retained
T4	Exercise Ring	To be demolished
T5	Bukit Timah Saddle Club Track	To be demolished
L1	Horse Pastures	To be retained
L2	Forested Knoll	To be partially demolished

Table 9.2: Summary of retention or demolition of buildings/ structure/ other within the site area.

9.6 Key Guiding Issues to be Addressed

<p>Context</p>	<ul style="list-style-type: none"> • Landscape and topography • Social • Historical
<p>Significance</p>	<p>Retained/ Enhanced</p> <ul style="list-style-type: none"> • Public accessibility • Proximity • Visibility • Compatibility (form, colour, height, scale, etc.) • Adaptive reuse (suitable usage, preserving CDEs, etc.) • Interpretation (learning from heritage, narratives) • Statutory compliance
	<p>Lost/ Reduced</p> <ul style="list-style-type: none"> • Recording and documentation • Salvage and reuse elsewhere • Interpretation (memories, narratives) • Statutory compliance
<p>Sense of Place</p>	<p>Safeguarding and promotion</p> <ul style="list-style-type: none"> • Tangible (sites, buildings, landscapes, routes, objects) • Intangible (memories, narrative, written documents, festivals, commemorations, etc.)

Table 9.3: Key Guiding Issues.


9.7 Methodology

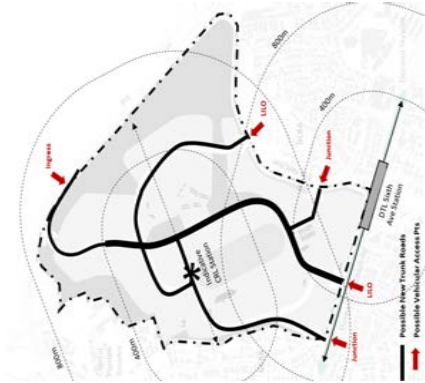

This first heritage impact assessment is based only on the conceptual plans provided in the Heritage Research Study for a future development area for the Urban Redevelopment Authority.



9.8 Impact Assessment

Table 9.4: Table of potential impacts, justifications, and mitigation measures (to be read in conjunction with Section 7.10). This impact assessment is based on the proposed redevelopment plan provided by URA.


Note: Building/Structure/Landscape ID numbers are referenced as follows in the table below: e.g. Main track (T1)
For CDE numbers, these are stated using the prefix in section 2 e.g. Main Track (T1.1)


Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
1.0 Overall Site Redevelopment							
1.1	Overall site redevelopment for residential purposes.		Refer to table below	Various	Moderately beneficial	<p>The redevelopment follows the relocation of horse racing to Kranji in 1999 and the longstanding intention to capitalize on the site's development potential.</p> <p>Demolition and modification are necessary to accommodate the new development and fulfil the planning requirements.</p>	<p>Refer to Section 7.10.</p> <p>The new construction in close proximity might cause adverse impact to the retained heritage buildings both physically and visually. Establish and implement necessary structural monitoring proposals during the construction phase.</p>

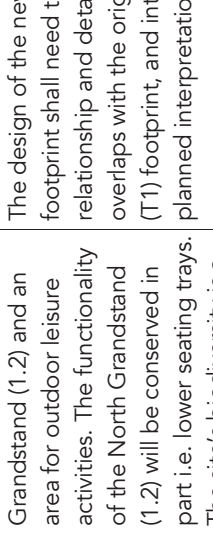
Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
1.2	Construction of new roads		All CDEs for the retained buildings/ structures	Various	Moderately beneficial	The new road network is an integral component of the site redevelopment.	<p>Refer to Section 7.10</p> <p>Establish a civic centre around the new station with appropriate uses to create a strong sense of arrival and to support activation of the site.</p> <p>Examine the spatial context of the road layout to ensure that adverse visual impacts are minimized.</p> <p>Commission a traffic impact assessment to ensure that congestion during busy periods is avoided.</p>
1.3	Division of site into distinct zones, each associated with different types of heritage buildings namely: Racecourse District, Saddle Club Knolls, Dunearn Edge and Tinggi Hills.		All CDEs associated with the retained buildings / structures	Various	Minimally beneficial	Retaining a select number of buildings/ structures in association with the creation of distinct zones aims to reinforce heritage value and channel it into tangible characteristics that residents and visitors can engage with.	<p>Record the buildings/ structures scheduled to be demolished as per relevant mitigation measures outlined in Section 7.10.</p> <p>Artefacts or objects with heritage value(s) should be salvaged and made available for possible inclusion in the site interpretation plan.</p>


Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
1.5	<p>Creation of new pedestrian routes to enable a Heritage Trail that links heritage clusters to public "Activity Generating Uses" (AGU) that include:</p> <p>To be read in conjunction with 1.10.</p>	 <p>The map displays a 'Heritage Zone' outlined in black. Within this zone, several heritage clusters are marked with red circles and labeled: 'Barracks Buildings', 'Barracks Track', 'Barracks Quarter', 'Barracks House', 'Barracks Bridge', 'Barracks (East)', 'Barracks (West)', 'Barracks (North)', and 'Barracks (South)'. A green line indicates a proposed pedestrian route connecting these clusters. A red circle at the bottom right indicates the 'Heritage Zone' boundary.</p>	<p>All CDEs for the retained buildings/ structures, plus:</p> <p>T1.1 T1.2, T1.3 & T1.5 T1.6 T1.4 T3.1</p>	<p>Various Exceptional Moderate Neutral Intrusive Neutral</p>	<p>Moderately Beneficial</p>	<p>The provision of pedestrian routes offers valuable potential for the public and visitors to understand and interpret the site's heritage values.</p> <p>The addition of art and sculptural installations shall be considered at key public spaces and vistas. The design of installations should reference the site's rich history and spirit of place.</p> <p>Records of the demolished/ modified buildings/ structures shall also become part of the interpretation plan to avoid any misunderstanding by visitors about the site history and development, such as the proposed plan to relocate and build a new "Oval".</p>	<p>An interpretation strategy and plan shall be established, with a key focus on recounting stories and insight about the site, as well as providing equestrian-themed activity spaces that reference the site's former use.</p> <p>The addition of art and sculptural installations shall be considered at key public spaces and vistas. The design of installations should reference the site's rich history and spirit of place.</p> <p>Records of the demolished/ modified buildings/ structures shall also become part of the interpretation plan to avoid any misunderstanding by visitors about the site history and development, such as the proposed plan to relocate and build a new "Oval".</p>
1.6	<p>Positioning of Activity Generating Uses</p>	 <p>The map shows a site layout with various buildings and spaces. A blue line indicates a 'Key Pedestrian Street / Routes to Activity Nodes / Public Space'. Blue star symbols mark 'Activity Generating Uses' (AGUs) located at 'Barracks Club', 'Barracks Quarter', 'Barracks House', 'Barracks Bridge', 'Barracks (East)', 'Barracks (West)', 'Barracks (North)', and 'Barracks (South)'. A legend at the bottom right identifies the blue star as 'Key Pedestrian Street / Routes to Activity Nodes / Public Space' and the blue line as 'Activity Generating Uses'.</p>	<p>All CDEs for the retained buildings / structures</p>	<p>Various</p>	<p>Moderately Beneficial</p>	<p>Activity Generating Uses of the urban and sub-urban environment because they enliven streets. Their use in this proposed development will be an important component of a successful outcome and one that offers potential to promote the interpretation strategy for the site.</p>	<p>No adverse impact is expected to occur as a result of the use of AGUs but should that occur, each incidence should be weighed on its individual merit.</p>


Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.0 Site and Setting							
2.1	Configuration and parcellation of building plots	 <p>The image is a site plan diagram of a development area. It shows several building plots outlined in orange and green. A network of roads is shown in white and green, including 'Dunrobin Drive' and 'Englewood Drive'. Landmarks such as 'British Club' and 'Swiss Club' are labeled. The plan also indicates 'Englewood GCBA' and 'Swiss Club GCBA'. A dashed line represents the 'PIE' (Public Infrastructure Envelope). The surrounding urban context is shown in a light grey grid.</p>	All CDEs for the retained buildings/ structures	Various	Neutral	Parcellation is a necessary component of the redevelopment plan in order to obtain efficient use of land.	Refer to Section 7.10 A visual impact assessment that incorporates the topography of the site should be conducted as part of the development plan and presented along with all other studies so that stakeholders may assess the merits of the scheme and, arguably more importantly, enable the design team to ensure that the scheme represents the optimal solution for the site in terms of spatial configuration.

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.2	<p>General: Construction of new buildings adjacent to heritage buildings.</p> <p>Read also with individual items 2.6 to 2.11</p>		<p>All CDEs for the retained buildings/ structures</p>	<p>Various</p>	<p>Minimally Adverse</p>	<p>The redevelopment proposals are the result of long-term objectives for the site. Areas where greatest impact is expected occurs where new buildings, many of them high-rise, are in close proximity to retained heritage buildings and where previously there were only secondary buildings, if any.</p>	<p>The designation of distinct zones that draw on the heritage characteristics of the site will strengthen the retained heritage assets and provide resilience. A set of design guidelines shall be used to appraise proposals and ensure appropriate typologies, scales and considered response to the terrain is achieved within each parcel. The design of the new buildings shall be sympathetic to the historical buildings and the character of the district. This does not mean they should adopt an historical typology. There is considerable potential for using contrast, for example, in the design of new elements to permit heritage buildings to retain their presence.</p> <p>A visual impact assessment should be conducted as part of the development plan and presented along with all other studies so that stakeholders may assess the merits of the scheme and, arguably more importantly, enable the design team to ensure that the scheme represents the optimal solution for the site in terms of spatial configuration.</p>


Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
							<p>A set of guidelines should be prepared once 3D massing studies around each retained heritage building is available. These guidelines shall address alignment and orientation of proposed new buildings with relation to the existing building, plus requirements for proposed minimum setback control for privacy, outlook, and visual relief.</p>
2.3	Demolition of main track (T1) including loss of spatial relationship with north grandstand (1.2)		<p>T1.1 T1.2, T1.3 & T1.5 T1.6 T1.4</p>	<p>Exceptional Moderate Neutral Intrusive</p>	<p>Highly Adverse</p>	<p>To accommodate the new development plan, it is not feasible to retain the main track (T1) in its original size or location. The eastern part of original main track (T1) was modified post-1999 by incorporating a road that provided access to the sports' facilities that were introduced. The reconfigured racetrack provides a semblance of a spatial relationship with the North Grandstand.</p>	<p>Read with item 2.1. To preserve and communicate the historic narrative of the original main track (T1), its original position and configuration should be more closely associated with the retained North Grandstand, that is, by not shifting it to the south. Record the Main Track using 3D scanning/ photogrammetry prior any demolition works.</p>


Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.4	<p>Construction of a new public open space on the site of the former racetrack</p> <p>To be read in conjunction with key views 2.20 to 2.23.</p>		<p>T1.1 T1.2, T1.3 & T1.5 T1.6 T1.4</p>	<p>Exceptional Moderate Neutral Intrusive</p>	<p>Minimally Adverse</p>	<p>The creation of a newly positioned "Oval" partly preserves the spectator and spatial connection between the North Grandstand (1.2) and an area for outdoor leisure activities. The functionality of the North Grandstand (1.2) will be conserved in part i.e. lower seating trays. The site's biodiversity is a key contributing factor to overall environmental significance.</p> <p>The newly added "Oval" will be designed as a focal point within the overall development plan. The southern part of the existing central ravine (C) will be integrated into the new 'Oval'.</p> <p>Interpretative measures such as AR/VR will be available within the former grandstand, enabling visitors to visualize the site's original configuration from a racing spectator perspective.</p>	<p>To prevent the public misunderstanding the provenance of the new "Oval", it should be clearly identified as a modern intervention.</p> <p>The design of the new "Oval" footprint shall need to consider the relationship and detail where it overlaps with the original main track (T1) footprint, and interfaces with planned interpretation measures.</p>

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.5	Construction of new "Urban Plaza" structure to link the North Grandstand (1.2) with the new MRT station entrance.		All CDEs for the retained buildings/ structures	Various	Minimally beneficial	The enhancement of the site's accessibility is a prerequisite to the site's future redevelopment and adaptive reuse of retained historic buildings. The structure will be built into the existing terrain and should not be higher than the ground level of the Secretary's Bungalow in order to minimise the visual impact to the adjacent historic buildings and disturbance to the identified key view no.3.	The new "Urban Plaza" shall be designed as an open and porous one-storey structure with a landscaped roof. A visual impact assessment should be conducted once a more developed design (including MEP and structural design) is available to ensure the design intention is achieved and the key view is maintained.


Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.6	<p>Construction of new development within the new Racecourse district and around the retained cluster of heritage buildings:</p> <ul style="list-style-type: none"> - North Grandstand (1.2); and - Former Deputy's Secretary's Bungalow (7). 		<p>All CDEs for the retained buildings/ structures</p>	<p>Various</p>	<p>Minimally Beneficial</p>	<p>The retention of clusters of heritage buildings in situ enables some retention of group value.</p> <p>The retention of historical buildings and their context (including landscape and settings) is beneficial to maintaining heritage values and enhancing future visitors' interpretation and understanding.</p>	<p>The viewing corridor and visual connection per Key View 3 – see item 2.22, shall be partially preserved.</p> <p>A set of design guidelines shall be used to appraise proposals and ensure appropriate typologies, scales and a response to terrain is achieved in each parcel. The design of the new buildings shall be sympathetic to the historical buildings and the character of the district. A visual impact assessment shall be conducted</p>


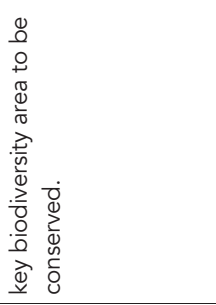
Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.7	<p>Construction of new development within the new Tinggi Hills district and the retained heritage building:</p> <ul style="list-style-type: none"> - Former Secretary's Bungalow (6) 		<p>All CDEs for the retained buildings/ structures</p>	<p>Various</p>	<p>Minimally Beneficial</p>	<p>The retention of historical buildings in situ (including landscape and settings) is beneficial to maintaining heritage values and enhancing future visitors' interpretation and understanding.</p>	<p>The viewing corridor and visual connection per Key View 4 – see item 2.23, shall be preserved.</p> <p>A set of design guidelines shall be used to appraise proposals and ensure appropriate typologies, scales and a response to terrain is achieved in each parcel. The design of the new buildings shall be sympathetic to the historical buildings and the character of the district. A visual impact assessment shall be conducted</p>

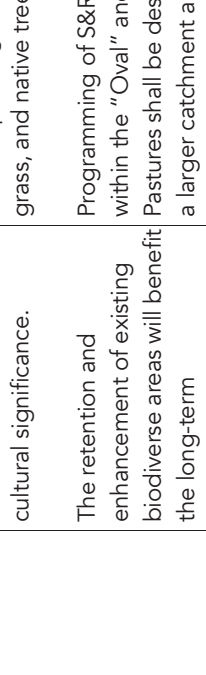
Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.8	<p>Construction of new development within the new Saddle Club Knolls district and the retained heritage buildings:</p> <ul style="list-style-type: none"> - Bukit Timah Saddle Club (16.1) including the undulating terrain and landscaped setting; and - Fairways Bungalow (17) including the central space, and mature tree in front of the buildings. 		All CDEs for the retained buildings/structures	Various	Minimally Beneficial	<p>The retention of clusters of heritage buildings in situ enables some retention of group value.</p> <p>The retention of historical buildings and in situ (including landscape and settings) is beneficial to maintaining heritage values and enhancing future visitors' interpretation and understanding.</p>	<p>The adjacent buildings (16.2, 18.1 part) which are scheduled to be demolished shall be recorded and included as part of the site's future interpretation plan and to aid public understanding of the former Saddle Club.</p> <p>A set of design guidelines shall be used to appraise proposals and ensure appropriate typologies, scales and a response to the terrain is achieved in each parcel. The design of the new buildings shall be sympathetic to the historical buildings and the character of the district. A visual impact assessment shall be conducted</p>

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.9	<p>Construction of new development within the new Saddle Club Knolls district and adjacent to the retained heritage buildings:</p> <ul style="list-style-type: none"> - Horse bridge (29); - Horse bridge (30); and - Horse Pastures (L1) 		All CDEs for the retained buildings/ structures	Various	Minimally Beneficial	The retention of individual structures and landscaped elements is beneficial to maintaining heritage values and enhancing future visitors' interpretation and understanding.	<p>Read with item 2.15.</p> <p>A set of design guidelines shall be used to appraise proposals and ensure appropriate typologies, scales and a response to the terrain is achieved in each parcel. The design of the new buildings shall be sympathetic to the historical buildings and the character of the district. A visual impact assessment shall be conducted</p>

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.10	<p>Construction of new development within the new Saddle Club Knolls district and adjacent to the retained heritage buildings:</p> <ul style="list-style-type: none"> - Community Centre (18.2); - Exercise Ring (T3); and - Labourers' quarters (18.1) including central courtyard space 		<p>All CDEs for the retained buildings/ structures</p>	<p>Various</p>	<p>Minimally Beneficial</p>	<p>The retention of clusters of heritage buildings in situ enables some retention of group value.</p> <p>The retention of individual buildings and landscaped elements is beneficial to maintaining heritage values and enhancing future visitors' interpretation and understanding.</p> <p>Partial demolition of (18.1) is necessary – see item 4.14</p>	<p>Record building 18.1 prior to partial demolition and include within the site's future interpretation plan.</p> <p>A set of design guidelines shall be used to appraise proposals and ensure appropriate typologies, scales and a response to terrain is achieved in each parcel. The design of the new buildings shall be sympathetic to the historical buildings and the character of the district. A visual impact assessment shall be conducted.</p>



Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.11	<p>Construction of new development within the new Dunearn Edge district and adjacent to the retained heritage buildings:</p> <ul style="list-style-type: none"> - Bungalow (3); - Bungalow (8); - Stables (12.1); and - Syces Quarters (14) 		All CDEs for the retained buildings/ structures	Various	Minimally Beneficial	<p>The retention of clusters of heritage buildings in situ enables some retention of group value.</p> <p>The retention of historical buildings and their context (including landscape and settings) is beneficial to maintaining heritage values and enhancing future visitors' experience and interpretation.</p> <p>Partial demolition of (12.1) is necessary to accommodate new residential development.</p>	<p>Record building 12.1 prior to partial demolition, and include within the site's future interpretation plan.</p> <p>Bungalow (8) and its original setting will be integrated into the future parkland.</p> <p>A set of design guidelines shall be used to appraise proposals and ensure appropriate typologies, scales and a response to terrain is achieved in each parcel. The design of the new buildings shall be sympathetic to the historical buildings and the character of the district. A visual impact assessment shall be conducted.</p>


Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.12	Removal of existing vegetation around the site in areas of high conservation value		L1.1 L2.1	Neutral Neutral	Moderately Adverse	Removal of vegetation will increase flexibility for future development. This area has not been identified by NParks as a key biodiversity area to be conserved.	Refer to separate environmental study.
2.13	Partial felling of Forested Knoll (L2)		L2.1	Neutral	Minimally Adverse	An area of felling is required to create a new access road into the new Saddle Club Knolls district. The area is located outside the area of high conservation value identified by National Parks Board (NParks)	

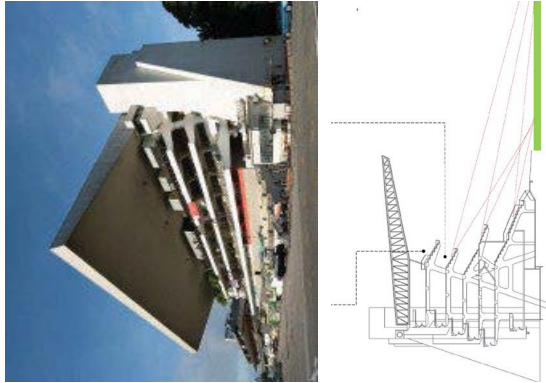
Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.14	Create new access routes to and through the site's varied landscapes, including water bodies		All CDEs for the retained buildings/ structures	Various	Moderately Beneficial, subject to EIA	<p>The environmental biodiversity and typology of the site are two of the key contributing factors to the site's environmental and cultural significance.</p> <p>The retention and enhancement of existing biodiverse areas will benefit the long-term environmental sustainability of the site.</p> <p>Provision of large areas of green space for recreational use is a key requirement for the residential development.</p>	<p>Any new nature trails shall be carefully designed and should adopt elements of landscape design that are characteristic of the extant site, for example, large expanses of grass, and native trees.</p> <p>Programming of S&R and Park uses within the "Oval" and Fairways Pastures shall be designed to serve a larger catchment and to strengthen Turf City's active living positioning.</p> <p>Refer to separate environmental study.</p>



Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.15	Creation of new key pedestrian routes across the site, tied to new activity nodes. This also includes the pedestrianisation of Fairways Drive.		All CDEs for the retained buildings/ structures	Various	Moderately Beneficial	<p>The enhancement of the site's accessibility is a prerequisite of the site's future redevelopment and adaptive reuse.</p> <p>The adaptation of the existing Fairways Drive Road as a pedestrian pathway through the landscape is a positive contribution to the site's development plan.</p> <p>The design should utilize the sites existing terrain and create new vantage points which are integrated into the site's interpretation plan, and where appropriate, the heritage trail.</p> <p>New activity nodes shall be well designed public spaces that people will feel naturally drawn to and able to relate to positively. The likely attributes of a well-designed space would be: ease of access; good artificial lighting (if used after dark); proximity to changing rooms, showers and toilets; a sense of safety for families and single women; built of durable materials that are well-maintained; orientation etc.</p> <p>Key pedestrian routes will be further activated by public facility uses (including retail / F&B / social & communal facilities / recreational). Key pedestrian routes should be designed to connect new public space with heritage clusters using a heritage trail.</p>	<p>Refer Section 7.10</p> <p>Design attractive streetscape / pedestrian routes to improve walkability across the site, as well as factoring in safeguard measures to protect pedestrians from vehicles. In the central area, particularly adjacent to the MRT station entrances, create active street frontages.</p>



Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.16	Demolition of Round Podium in Parade Ring (T2)		T2.1 T2.2 & T2.4 T2.3	Moderate Low Intrusive	Minimally Adverse	Demolition of (T2) is necessary to accommodate the "Oval"	Consideration shall be given to keep the podium as a landscape feature with interpretative measures in place. If it is not feasible to retain, record the podium prior to the commencement of demolition works. Mark the location and shape of the podium in the proposed landscape design.
2.17	Retention of Exercise Ring (T3)		T3.1	Neutral	Minimally Beneficial	Exercise Ring (T3) together with the nearby horse bridges (29) and (30) and horse pastures (L1), are key components of the Saddle Club Knolls.	Any proposal to alter existing hard or soft landscaping shall be minimized so that original exercise ring (T3) can still be perceived and identified in its original position and configuration.
2.18	Demolition of Exercise Ring (T4)		T4.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	Record the track prior to the commencement of demolition works.
2.19	Demolition of Bukit Timah Saddle Club Track (T5)		T5.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	Record the track prior to the commencement of demolition works.



Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.20	<p>Key View No. 1: Loss of existing view from the site entrance looking toward the two grandstands</p>		V.1	Exceptional	Moderately Adverse	<p>Removal of South Grandstand (1.2) is necessary to make way for the new residential development. Realignment of the road network is a key component of the structure plan and improvement in accessibility.</p>	<p>Realign the road network and proposed new buildings at southern end of site to create a sightline from the entrance to the retained north grandstand (1.1) to re-create as far as practical the extant sense of arrival.</p>
2.21	<p>Key View No.2: Modification of existing view from public areas within the North Grandstand (1.2) toward the main track (T1) and open landscape beyond due to construction of new MRT station entrance structures, the remodeling of a new "Oval", and the integration of new mixed-use development in front of the existing vegetation buffer zone.</p>		V.2	Exceptional	Moderately Adverse	<p>Proposed station entrances and integrated mixed-use development are key components of the development proposal.</p>	<p>The design of the new development on the opposite side of the racetrack shall be limited in height and sympathetic to the historical buildings nearby. The construction of new buildings in close proximity to the new "Oval" shall be lower in height. The vegetation buffer will be partially altered to create a new view to the Labourers' Quarters (18.1).</p>

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
2.22	Key View No. 3: Retention of Former Deputy Secretary's Bungalow (7) view looking toward the North Grandstand		V.3	Moderate	Neutral	The identified key view is of moderate significance.	There is no adverse impact arising from the proposal to the retention of the key view No.3, subject to further review of the design of "Urban Plaza" (see item 2.5)
2.23	Key View No. 4: Modification of view from Former Secretary's Bungalow (6) looking toward the northern end of the original main track (T1) and open landscape beyond, due to the construction of new station entrances and Urban Plaza. Includes for loss of context around the bungalow.		V.4	Moderate	Minimally Adverse	Proposed station entrances and adjacent development are key components of the redevelopment proposal. A narrower but clear viewing corridor and visual connection with the original main track (T1), now the new "Oval" is retained.	The design of the new development shall be limited in height and sympathetic to the historical buildings nearby. Consideration shall be given to reveal more of the North Grandstand (1.2) in the viewing corridor by optimizing the building form of the nearby residential development. Consideration shall be given to the landscape design that retains a degree of enclosure around the bungalow
2.24	Retention of 'Former PUB Dunearn Depot Building' (a)		N/A	N/A	N/A	N/A	Not part of current study.

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
3.0 Retention/ Physical Change to the Retained Buildings/ Structure							
Building No. 1.2							
3.1	Adaptive reuse of North Grandstand (1.2) within a proposed commercial area.		1.2.1 to 1.2.4 1.2.5 to 1.2.9 1.2.11 1.2.12, 1.2.13 1.2.10	Exceptional Moderate Moderate to Low Neutral Intrusive	Moderately Beneficial	<p>Grandstand is of exceptional significance and it is capable of adaptive reuse given its inherent strength and architectural typography.</p> <p>The proposed commercial uses are generally in accordance with the building's capability for change without undue alteration.</p> <p>The proposed adaptive reuse will make a positive contribution to the building's long-term sustainability.</p>	<p>Restore the historic building by repairing historic fabric and unpicking intrusive past interventions.</p> <p>The detailed design proposals, particularly for the new building behind the grandstand, shall be subject to further review to minimize the heritage impacts.</p> <p>The outdoor seating trays shall be retained as much as feasible. Enclosure of the seating areas shall be avoided.</p> <p>New interventions shall be distinguishable from, but sympathetic to the historic fabric.</p> <p>Prepare an interpretation plan and incorporate into the future detailed design.</p>

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.3 - 232 Turf Club Road							
3.2	Reinstatement of Bungalow (3) back to the original residential use.		3.1, 3.3, 3.7, 3.9 to 3.11 3.2, 3.4, 3.5, 3.8 3.6	Moderate Low Intrusive	Moderately Beneficial, subject to further review of new use	The proposed reinstatement of the building's original residential use will make a positive contribution to the building's long-term sustainability. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.	Restore the historic building by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.
Building No.6 - 192 Turf Club Road							
3.3	Retention of duplex flat (6) as residential use.		6.1, 6.2, 6.5, 6.6, 6.12, 6.17, 6.18 6.3, 6.4, 6.7 to 6.9, 6.11, 6.13 to 6.16 6.10	Moderate Low Intrusive	Moderately Beneficial, subject to further review of new use	The proposed retention of residential use will make a positive contribution to the building's long-term sustainability. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabrics. Prepare an interpretation plan and incorporate into the future detailed design.	Restore the historic building by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabrics. Prepare an interpretation plan and incorporate into the future detailed design.

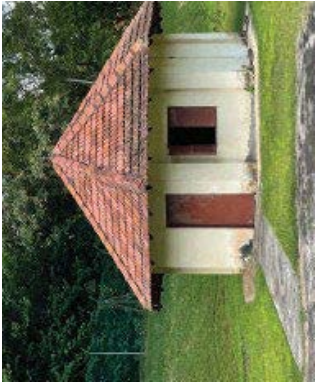

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.7 - 198 Turf Club Road							
3.4	Adaptive reuse of Secretary's Bungalow (7) from vacant residential use to commercial/mixed-use.		7.1, 7.2, 7.13 to 7.16 7.7 7.3, 7.4, 7.8 to 7.12, 7.17, 7.18 7.5, 7.6	Moderate Neutral Low Intrusive	Moderately beneficial, subject to further review of new use	The proposed adaptive reuse will make a positive contribution to the building's long-term sustainability. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.	Restore the historic building by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.
Building No.8 - 32 Turf Club Road							
3.5	Adaptive reuse of Bungalow (8), with the building also incorporated into a new park area.		8.2 8.1, 8.3, 8.5 to 8.10 8.4	Moderate Low Intrusive	Minimally beneficial, subject to further review of new use	Subject to confirmation on the new use, the adaptive reuse will make a positive contribution to the building's long-term sustainability. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.	Restore the historic building by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.12.1 - 100 Turf Club Road							
3.6	Adaptive reuse of the partially retained Stables (12.1), into a mix of recreation-related uses		12.1.1, 12.1.3, 12.1.4 12.1.2, 12.1.5 12.1.6 12.1.7	Moderate Neutral Low Intrusive	Moderately Beneficial	The proposed adaptive reuse will make a positive contribution to the building's long-term sustainability. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.	Restore the historic stables by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design. Read with item 4.9.
Building No.14 - 106 Turf Club Road							
3.7	Adaptive reuse of Workers' Quarters (14)		14.1 to 14.3 14.8 14.5, 14.6, 14.9 14.4, 14.7	Moderate Neutral Low Intrusive	Neutral, subject to further review of new use	Subject to confirmation on the new use, the adaptive reuse will make a positive contribution to the building's long-term sustainability. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.	Restore the historic building by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
3.8	Building No.16.1 - 1 Fairways Drive Adaptive reuse of Club House (16.1), including retention of surrounding setting and landscape		16.1.1, 16.1.4 16.1.7, 16.1.9 16.1.2, 16.1.3, 16.1.6, 16.1.8 16.1.5	Moderate Neutral Low Intrusive	Moderately beneficial, but subject to further review pending confirmation of new use.	The building, together with the Fairways Bungalow (see Building No.17 below), will be retained and revitalized. Subject to confirmation on the new use, the adaptive reuse will make a positive contribution to the building's long-term sustainability. The conservation of the building in its original setting will benefit the retention of the heritage values.	Restore the historic building by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.17 - 55 Fairways Drive,							
3.9	Adaptive reuse of Fairways Bungalow (17) including retention of surrounding setting and landscape		17.1, 17.9 17.6 17.2, 17.3, 17.5, 17.7 17.4, 17.8	Moderate Neutral Low Intrusive	Moderately Beneficial, but subject to further review pending confirmation of new use.	The building, together with the Club House (see Building No.16.1 above), will be retained and revitalized. Subject to confirmation on the new use, the adaptive reuse will make a positive contribution to the building's long-term sustainability. The conservation of the building in its original setting will benefit the retention of the heritage values.	Restore the historic building by repairing historic fabric and unpicking intrusive past interventions. The detailed design proposals shall be subject to further review to minimize the heritage impacts. New interventions shall be distinguishable from, but sympathetic to the historic fabric. Prepare an interpretation plan and incorporate into the future detailed design.




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.18.1 - 53 Fairways Drive							
3.10	Partial Retention of Labourers' Quarters (18.1), including 11No. blocks and the central courtyard space		18.1.1 to 18.1.6	Low	Moderately Beneficial	<p>Partial restoration of the Fairways Quarters including the adaptive reuse of individual structures will make a positive contribution to the buildings' long-term sustainability.</p>	<p>Restore the historic buildings by repairing historic fabric and unpicking intrusive past interventions.</p> <p>The detailed design proposals shall be subject to further review to minimize the heritage impacts.</p> <p>New interventions shall be distinguishable from, but sympathetic to the historic fabric.</p> <p>Prepare an interpretation plan and incorporate into the future detailed design.</p> <p>The unique setting around Fairways Quarters including the terrain should be incorporated into any design proposals for the site.</p> <p>For the portion that is scheduled to be demolished, record the affected buildings and salvage the artefacts prior to demolition. Read with item 4.14.</p>




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.18.2 - 53 Fairways Drive							
3.11	Retention of Community Centre (18.2)		18.2.1 to 18.2.5	Low	Minimally Beneficial, but subject to further review pending confirmation of new use.	Retention and reuse of this structure is an important component of the heritage interpretation of this site and enables some retention of group value within the Saddle Club Knolls district.	There is no adverse impact arising from the proposal to retain the existing Community Centre (18.2), therefore no mitigation is applicable.
Building No.29 - Fairways Drive							
3.12	Retention of Horse Bridge No. 1 (29)		29.1	Low	Minimally Beneficial	Retention and reuse of this structure is an important component of the heritage interpretation of this site and enables some retention of group value. The bridge will be retained within the open space / "Manicured landscapes" area, and as part of the proposed to pedestrian Fairways Drive – see item 2.13.	There is no adverse impact arising from the proposal to retain the existing horse bridge (29), therefore no mitigation is applicable.




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.30 - Fairways Drive							
3.13	Retention of Horse Bridge No. 2 (30)		30.1	Low	Minimally Beneficial	Retention and reuse of this structure is an important component of the heritage interpretation of this site and enables some retention of group value. The bridge will be retained within the open space / "Manicured landscapes" area, and as part of the proposed to pedestrian Fairways Drive – see item 2.14.	There is no adverse impact arising from the proposal to retain the existing horse bridge (30), therefore no mitigation is applicable.
Building No. L1 - Fairways Drive							
3.14	Retention of Horse Pastures		L1.1	Neutral	Minimally Beneficial	Retention of Horse Pastures will benefit the landscape and heritage interpretation of this site.	There is no adverse impact arising from the proposal to retain the existing horse pastures (L1), therefore no mitigation is applicable.
Building No. L2							
3.15	Retention of Forested Knoll		L2.1	Neutral	Minimally Beneficial	Retention of Forested Knoll will benefit the landscape and heritage interpretation of this site.	There is no adverse impact arising from the proposal to retain the existing the forested knoll (L2), therefore no mitigation is applicable.




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
4.0 Complete Demolition of Heritage Buildings / Structures							
Building No.1.1							
4.1	Demolition of South Grandstand (1.1)		1.1.1,1.1.2 1.1.3, 1.1.4,1.1.6, 1.1.7 1.1.8 1.1.5	Exceptional Moderate Low Intrusive	Highly Adverse	The original fabric of the building has been significantly altered in the 1980s and would be challenging to adapt to new uses that are compatible with the development proposal.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage value shall be salvaged and included in the future interpretation plan.
Building No.2							
4.2	Demolition of carpark (2) inclusive of the 1933 bridge structure		2.3a 2.2, 2.4 2.1 2.3b	Moderate Neutral Low Intrusive	Minimally Adverse	Demolition is necessary to accommodate the new residential development.	Record the building and bridge prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.4 - 234 Turf Club Road							
4.3	Demolition of Bungalow (4)		4.1, 4.3, 4.4, 4.7, 4.9 4.2, 4.5, 4.10 4.6	Moderate Low Intrusive	Moderately Adverse	Demolition is necessary to accommodate the new residential development.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.



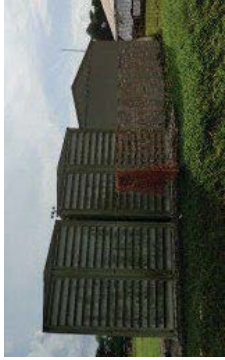

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.5 - 236 Turf Club Road							
4.4	Demolition of Bungalow (5)		5.1, 5.3, 5.4, 5.7, 5.9 5.2, 5.5, 5.8, 5.11 5.6, 5.10	Moderate Low Intrusive	Moderately Adverse	Demolition is necessary to accommodate the new residential development. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.9 - 32 Turf Club Road							
4.5	Demolition of Bungalow (9)		9.2, 9.3 9.5 9.1, 9.8 to 9.12 9.4, 9.6, 9.7	Moderate Neutral Low Intrusive	Minimally Adverse	Demolition is necessary to accommodate the new residential development. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.10 - 36 Turf Club Road							
4.6	Demolition of Bungalow (10)		10.1 to 10.7	Low	Minimally Adverse	Demolition is necessary to accommodate the new residential development. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.




Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.11.1 - 2 Turf Club Road							
4.7	Demolition of Syces' Quarters (11.1).		11.1.1, 11.1.4 11.1.8 11.1.2, 11.1.3, 11.1.5 to 11.1.7, 11.1.9	Moderate Neutral Low	Moderately Adverse	Demolition is necessary as the Syces' Quarters (11.1) conflicts with the proposed new road layout.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.11.2 - 2 Turf Club Road							
4.8	Demolition of Labourers' Quarters (11.2)		11.2.7 11.2.1, 11.2.2, 11.2.4, 11.2.5 11.2.3, 11.2.6	Neutral Low Intrusive	Moderately Adverse	Demolition is necessary to accommodate the new residential development.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.12.1 - 100 Turf Club Road							
4.9	Partial demolition of Stables (12.1). Read with item 3.6		12.1.1, 12.1.3, 12.1.4 12.1.2, 12.1.5 12.1.6 12.1.7	Moderate Neutral Low Intrusive	Moderately Adverse	Demolition is necessary to accommodate the new residential development.	Record the buildings and salvage the artefacts prior to demolition.

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.12.2 - 100 Turf Club Road							
4.10	Demolition of Feed Room (12.2)		12.2.3 12.2.1, 12.2.2 12.2.4	Neutral Low Intrusive	Moderately Adverse	Demolition is necessary to accommodate the new residential development. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.13 - 104 Turf Club Road							
4.11	Demolition of Stables (13)		13.1 to 13.4 13.5	Moderate Intrusive	Moderately Adverse	Demolition is necessary due to conflict with the new road layout and to accommodate new residential development.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.15 - 108 Turf Club Road							
4.12	Demolition of Stables (15)		15.1, 15.3, 15.5, 15.7 15.6 15.2, 15.4	Moderate Low Intrusive	Moderately Adverse	Demolition is necessary as the Stables conflict with the proposed new road layout.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.16.2 -51 Fairways Drive							
4.13	Demolition of Stables (16.2)		16.2.1 16.2.2 to 16.2.4	Moderate Low	Minimally Adverse	Demolition is necessary to accommodate new open space / "Manicured landscapes" areas.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.18.1 -53 Fairways Drive.							
4.14	Partial demolition of Labourers' Quarters (18.1) Read with item 3.10		18.1.1 to 18.1.6	Low	Minimally Adverse	Demolition is necessary to accommodate the new residential development.	Record the buildings and salvage the artefacts prior to demolition.
Building No.19							
4.15	Demolition of Hay Barn (19)		19.1, 19.3 19.2	Neutral Low	Minimally Adverse	Demolition is required in full to facilitate the widening works of the existing road, which is essential to facilitate the future redevelopment of the site.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.20 - 100 Turf Club Road							
4.16	Demolition of Stables (20)		20.1	Intrusive	Neutral	Demolition is necessary as the Hay Barn conflicts with the proposed new road layout.	Record the building prior to the commencement of demolition works. Artefacts or objects with heritage values shall be salvaged and included in the future interpretation plan.
Building No.21 - 100 Turf Club Road							
4.17	Demolition of Basketball court shelter (21)		21.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Basketball court shelter (21), therefore no mitigation is applicable.
Building No.22 - Turf Club Road							
4.18	Demolition of Tennis court shelter (22)		22.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Tennis court shelter (22), therefore no mitigation is applicable.

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.23 - Turf Club Road							
4.19	Demolition of Basketball court shelter (23)		23.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Basketball court shelter (23), therefore no mitigation is applicable.
Building No.24 - Turf Club Road							
4.20	Demolition of Sheltered sporting arena (24)		24.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Sheltered sporting arena (24), therefore no mitigation is applicable.
Building No.25 - Turf Club Road							
4.21	Demolition of Container blocks (25)		25.1	Intrusive	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Container blocks (25), therefore no mitigation is applicable.
Building No.26 - Turf Club Road							
4.22	Demolition of Indoor sporting arena (26)		26.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Indoor sporting arena (26), therefore no mitigation is applicable.

Item	Description of Change	Image Reference	CDE Affected	Significance of CDE	Impact	Justification	Mitigation
Building No.27 - 200 Turf Club Road							
4.23	Demolition of Saddling Boxes (27)		27.1	Neutral	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Saddling Boxes (27), therefore no mitigation is applicable.
Building No.28 - 200 Turf Club Road							
4.24	Demolition of Saddling Stalls (28)		28.1	Intrusive	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of Saddling Stalls (28), therefore no mitigation is applicable.
Building No.31							
4.25	Demolition of abandoned Hot Walker (31)		31.1	Intrusive	Neutral	Demolition is necessary to accommodate the new development.	There is no impact arising from the proposal to demolition of the abandoned Hot Walker (31), therefore no mitigation is applicable.

9.9 Mitigation Measures

9.9.1 Overall Site Redevelopment

OVERVIEW



Figure 9.5: Overview of site redevelopment area.

PLANNING INTENTIONS

EXISTING LAND USE	URA PLANNING PARAMETERS	OTHER PLANNING PARAMETERS
Residential	<ul style="list-style-type: none">• Residential• Nature Areas/ Densely Vegetated Areas• Open Space/ Manicured Landscapes• Other supporting uses and amenities	

Note:

1. Based on the proposed redevelopment plan provided by URA.

POTENTIAL HERITAGE IMPACT AND MITIGATION MEASURES

KEY ASPECT	POTENTIAL HERITAGE IMPACT	POSSIBLE JUSTIFICATIONS	POSSIBLE MITIGATION MEASURES
Intactness	<p>Loss of identity/ heritage character</p> <p>Loss of contextual relationship with wider site</p> <p>Partial alteration/ modification of historic fabric</p> <p>Affected heritage values:</p> <ul style="list-style-type: none"> • HISTORICAL • COMMUNAL AND SOCIAL • CONTEXTUAL 	<p>To achieve required planning parameters</p> <p>To fulfill statutory requirements</p>	<p>Conservation Management Plan</p> <p>The archival information compiled in this heritage research study for Bukit Timah Racecourse is deemed as preliminary to evaluate the current planning study only. Given the site's complexity and heritage significance, especially in its architectural, contextual and historical values, it is recommended that a conservation management plan is prepared that would provide more in-depth archival research and site survey of the buildings and CDEs in order to establish a more comprehensive understanding of the history and development of the site including all buildings, structure and landscape within. This would provide a more robust basis for the management of change. It would also enable historical development plans to be prepared so that the dates of different elements can be established, which would facilitate further assessment of significance, identify issues and opportunities and enable conservation policies that would guide the future development as well as the management and maintenance of the site in the long term.</p> <p>Create a policy framework that seeks to identify and retain that which reveals the significance of the place whilst enabling efficient development of the site that offers enhanced amenity to those who will live and work there and provides an insight for others who visit.</p> <p>Retention of heritage value is built upon the retention of selected heritage assets and the interpretation of heritage values of the site generally. See section 8.0.</p> <p>Legislative Framework</p> <p>Buildings identified for conservation will be granted protection under the existing legislative framework.</p>

KEY ASPECT	POTENTIAL HERITAGE IMPACT	POSSIBLE JUSTIFICATIONS	POSSIBLE MITIGATION MEASURES
Context	<p>Loss of contextual relationship with wider site and characteristic configuration of the site</p> <p>Loss of relation between built forms and setting</p> <p>Loss of heritage setting/ landscape</p> <p>Loss of heritage values:</p> <ul style="list-style-type: none"> • AESTHETIC AND ARCHITECTURAL • HISTORICAL • CONTEXTUAL 		<p>Configuration and Spatial Quality</p> <p>As the previous site for one of Asia’s most significant racecourses, Bukit Timah Racecourse has a unique sense of place as well as spatial configuration and quality, which should be maintained even though the original function no longer exists. The relationship among the main track, two grandstands and Secretary’s Bungalow should be retained. New circulation routes shall make use of the existing ones if feasible. Where introduction of new road is unavoidable, the old circulation routes together with the bridges or linkways should be retained and formed part of the heritage loop if feasible.</p> <p>Landscape and Circulation Design Integration</p> <p>Given the site’s historic setting being a turf club, any new landscape design and circulation planning should respect the original terrain, operational relation and spatial hierarchy. This is especially important to the future landscape design for the retained inner ring of Track No.1 and ravine within, which were historically designated as open-air so that the sightlines from the grandstands would not be affected. Though the original landscape has grown over the years, attempts to introduce heavily wooded landscape should be avoided.</p>

KEY ASPECT	POTENTIAL HERITAGE IMPACT	POSSIBLE JUSTIFICATIONS	POSSIBLE MITIGATION MEASURES
Access	<p>Loss of significant routes, spaces and view corridors</p> <p>Privatisation – historic structures and spaces become inaccessible to public</p> <p>Loss of heritage values:</p> <ul style="list-style-type: none"> • COMMUNAL AND SOCIAL • CONTEXTUAL 		<p>Public Use Component</p> <p>The communal and social value of the site is largely related to the two grandstands and main track (T1) which were historically accessible to the public while the rest of the buildings/ structure are more related to the operational needs as a Turf Club. Therefore, the retained North Grandstand and the main track should still be made available to the future users as well as the general public.</p> <p>The actual proposal of how the retained buildings/ structure, mainly bungalows, will be revitalised is currently unknown as future development plans are still under study, but the proposal should provide the public access to these heritage buildings to enable a better understanding and appreciation of this heritage site and history behind should be encouraged.</p> <p>Interconnectivity within the Site</p> <p>Ensure that significant circulation (both public and horseracing related), open spaces, main track and identified key view corridors are retained and remain legible and accessible. With the current design intention to create a heritage loop linking clusters of heritage buildings and settings and the proposal to demolish a relatively large number of existing buildings/structures, although the historic interconnectivity within the site was driven mainly by operational need, it becomes critical to enhance the interconnectivity within the site by re-using historic routing so that the public can still understand and appreciate how the Bukit Timah Racecourse used to operate.</p>

KEY ASPECT	POTENTIAL HERITAGE IMPACT	POSSIBLE JUSTIFICATIONS	POSSIBLE MITIGATION MEASURES
Function	<p>Inappropriate use of historic site/ buildings/ landscape</p> <p>Loss of identity/ heritage character</p> <p>Loss of heritage values:</p> <ul style="list-style-type: none"> • AESTHETIC AND ARCHITECTURAL • HISTORICAL • COMMUNAL AND SOCIAL 		<p>Compatibility of Use with Heritage Value</p> <p>With the racecourse function already relocated to Kranji in 1999, the operation of the site under new uses began in 2000. The current development project will enable a more strategic review of the new functions/ programmes to be introduced within the site, especially to those retained buildings/structure/spaces. Any proposals should be carefully reviewed to ensure they are compatible to the historic architectural configuration of the building/structure/ spaces, identified character-defining elements and spatial hierarchies. It is also understood that a balance between statutory/operational requirements and preservation of heritage fabric will need to be struck to ensure the long-term financial and environmental sustainability of the heritage buildings/structure/spaces.</p> <p>Historic Identity Leverage</p> <p>The site of Bukit Timah Racecourse is rich in both its history and surviving heritage fabric that enables a colourful story to be told and an interesting visiting experience to be created. With its strong historic identity and social connections, the new development should embrace and leverage on the already established identity, even though the original function is lost and replaced by new residential use. This can be achieved through introduction of historic place naming and other heritage interpretation strategies.</p>

KEY ASPECT	POTENTIAL HERITAGE IMPACT	POSSIBLE JUSTIFICATIONS	POSSIBLE MITIGATION MEASURES
Legibility	<p>Partial alteration/ modification of historic fabric</p> <p>Loss of significant buildings/ structures</p> <p>Loss of original scale</p> <p>Loss of legibility of historic building type/ design</p> <p>Poor heritage presentation of retained historic fabrics and spaces</p> <p>Loss of heritage values:</p> <ul style="list-style-type: none"> • AESTHETIC AND ARCHITECTURAL • HISTORICAL • CONTEXTUAL 		<p>Retaining Significant Group/ Clusters in their Entirety</p> <p>Considering the high contextual values of the site and various buildings/structure/ spaces within, by creating a heritage loop connecting various building clusters in the current design is deemed beneficial. These clusters of different historical function and architectural typology should be retained in their entirety where feasible so that the heritage values of each cluster and its legibility can be well maintained with minimum loss of heritage fabric.</p> <p>Authentic Restoration and Unpick Past Modifications/ Alterations</p> <p>Following the comprehensive understanding informed by the CMP, where there are sufficient record or physical evidence exist, an authentic restoration approach is recommended to revert the building's appearance to its original design with all modern modifications/ alterations are removed (eg. later added canopies, blocked verandahs, blocked vents, replacement windows/doors), supported by like-for-like repair strategy to enhance the legibility of the historic fabric and public's appreciation of their original design.</p> <p>Honest and Sensitive Intervention</p> <p>Any new intervention/ development shall be distinctive and sensitive but in the meantime respect the original fabric. The new design including the geometry, selection of materials and volume shall be restrained to avoid competing with the surviving fabric and the different senses of place of various retained buildings/ structure/ spaces. This would in return support the heritage interpretation to avoid confusion or misunderstanding of historic fabric.</p>

KEY ASPECT	POTENTIAL HERITAGE IMPACT	POSSIBLE JUSTIFICATIONS	POSSIBLE MITIGATION MEASURES
Legibility (cont'd)			<p>Heritage Interpretation Due to the large scale of the site, the heritage interpretation strategy is recommended to be comprised of an overall site-wide interpretation plan together with more detailed plans for various areas so that the public can better appreciate and fully understand its history, original function and extent, as well as connection with other retained heritage fabric within the site. The interpretation measures can consider a combination of traditional and modern techniques (such as AR, VR or other creative approach).</p> <p>Documentation and Recording Regularly establishing proper documentation using photographic and cartographic survey of the heritage asset is essential to understand and monitor its condition before any changes are considered or proposed. Proper documentation and recording prior to any planned modification or demolition are crucial as it stands the last chance to record before the historic fabric is lost.</p> <p>It is also recommended to adopt modern techniques, e.g. 3D scanning, drone survey or Heritage BIM to acquire more accurate and comprehensive survey and record information to facilitate future design and management & maintenance.</p> <p>Heritage / Artefact Inventory Prior to the commencement of construction works onsite, a heritage inventory or schedule of artefacts should be prepared. This should remain a live record, and updated as and when new discoveries onsite are found.</p>

KEY ASPECT	POTENTIAL HERITAGE IMPACT	POSSIBLE JUSTIFICATIONS	POSSIBLE MITIGATION MEASURES
Fitness for Purpose	<p>Partial alteration/modification of historic fabric</p> <p>Loss of heritage values:</p> <ul style="list-style-type: none"> • AESTHETIC AND ARCHITECTURAL • HISTORICAL 	<p>Compliance with building codes</p> <p>Enhancement of structural capacity associated with any change of use</p>	<p>Safety in Use</p> <p>It must be accepted that buildings shall be safe for people to use; it is a principal obligation on the part of government that it ensures its citizens shall be safeguard to a reasonable degree. Buildings constructed many years ago were typically built to standards that have been superseded. It follows that there is likely to be a dichotomy between retention of heritage fabric and reuse of historical buildings. It should therefore be expected that compliance is paramount, however, it does not follow that historical buildings need to be altered so much that they begin to resemble new buildings. Instead, ways should be sought to achieve compliance based on a performance-based approach rather than compliance per se. This will demand custom-made assessments to be made and bespoke solutions found.</p> <p>Change of Use</p> <p>A change of use of an historical building often triggers the requirement for stricter compliance and may in any case require an increase in say floor loading capacity, with possible harmful impacts on heritage value. For these reasons, any proposed change of use should be subject to careful consideration and only confirmed once it has been established that either the impacts are reasonable, or, that the change is compelling, without which the building cannot be retained at all.</p>

9.9.2 General Measures

In support of those mitigation measures outlined in the impact assessment table, further details are outlined below.

Document and recording

Prior to any works onsite, the buildings, structures, and open spaces located within the affected study area, a photographic and cartographic survey should be completed. Photographs should be related to a layout plan and should be deposited in an appropriate archive. For the cartographic survey, this should be completed by 3D laser scan and to a pre-determined level of detail. This record can support future interpretation initiatives where a 3D digital record of the element can be recreated in a virtual environment.

For those buildings and structures to be demolished, it is recommended to salvage character-defining elements including any historical artefacts identified within this report, for re-use where feasible and appropriate within the future development plan, and/or within the future interpretation proposal within the site.

Disturbance to historical fabric

Disturbance to the retained historical fabric should be kept minimal as far as technically feasible.

Protection

To minimise disturbance, for those retained buildings and structures in proximity of the redevelopment works, temporary protective measures may need to be installed to safeguard the historic fabric. A protection plan should be developed in conjunction with the successful contractor. If necessary, some temporary structural supports may be required to those buildings or structures which may be at risk.

Monitoring

During the construction stage of the redevelopment works, adopt necessary monitoring to the retained buildings and structures within the study area, as well as the land for seismic activity and soil movements. The monitoring proposal for the proposed works should be agreed with the relevant authorities before commencement of work.

It is recommended that a pre and post condition survey should be carried out to record condition of the buildings and structures. The condition of the retained buildings and structures should also be inspected regularly during construction stage.

Design Proposal

Proposed buildings within the redevelopment scheme should minimise the visual impact to the retained historic buildings, structures, and open spaces. The proposed new buildings should be of compatible design and be distinguishable from the existing historic buildings, structures, and open spaces.

The setting around the extant buildings and structures could be retained as far as possible to express their historical and cultural significance.

9.10 Overall Assessment

The impact assessment in section 9.9 identifies impacts per each heritage asset. The impacts vary from Highly adverse to Moderately beneficial. This reflects the loss of horse racing from the site – its principal heritage value – and the demolition and/or radical change to the spatial context of retained buildings. Set against that, the transfer of horse racing to Kranji and the consequent need for a new use for Bukit Timah, the redevelopment proposals offer a long-term sustainable use for the site, which would otherwise lie under-utilised. This in turn enables a select number of heritage assets to be retained and interpreted in a coherent manner. Overall, the redevelopment scheme is considered to represent an optimal solution that delivers on the long-term aims for this site whilst retaining substantial elements of heritage value. The retention of some elements of heritage value is not only important in itself, but it also has the potential to enrich the new development and to offer spatial characteristics that are unique.

The planned works for those buildings, structures and open spaces which are retained will respect their cultural significance with positive heritage impacts based on the following observations:

- Compatible uses shall be proposed for the retained buildings, whilst also allowing a certain level of public access to them and providing interpretation to understand them. This will be beneficial for the redevelopment of the Site.
- New internal layout designs within the retained building should respect the original building design, in which essential spaces for racing, equestrian and residential use are preserved.
- Alterations and additions necessary for statutory compliance and operational needs are considered acceptable in principle, subject to reasonable effort being made to mitigate adverse impact.
- As the design for individual retained buildings is developed, the treatment of the elements identified with neutral value in the CDE schedule should be further appraised.
- For the retained buildings, intrusive elements identified in the CDE schedule, are recommended to be removed where this would enhance the heritage values provided always that there is no associated adverse impact on historic fabric. Where removed, the retained fabric should be made good following conservation best practice and on a like-for-like basis.
- The alterations and additions to the open spaces is considered necessary to improve accessibility, but the impact on the Site and the surrounding environment should be neutral.
- The alterations and additions to the open spaces are considered necessary to improve accessibility, but the impact on the Site and the surrounding environment should be implemented in a neutral manner where it is feasible to do so.
- All new interventions should be clearly distinguishable from the existing but respecting the heritage fabric.

- Where new interventions can provide a beneficial impact on the heritage values, it is generally acceptable.
- Connectivity and spatial context between retained buildings, structures and open spaces will be preserved and supported by Interpretation.
- An interpretation plan shall be implemented.

The impact assessment and subsequent mitigation measures is based on a conceptual redevelopment plan. The assessment should be updated as and when the redevelopment plan is finalised to ensure that the complete proposals is assessed its impact on the site historical and cultural significance. Beyond this, typically, key milestones for updating the impact assessment include the completion of the schematic and detailed design stages.

If an alternative redevelopment scheme is proposed, the impact assessment and mitigation measure process should be repeated in full.

10.0 Sustainable Management

10.1 Way Forward Summary

The mitigation measures in this impact assessment set out the responsibilities for the protection of affected heritage assets within the redevelopment site. shall follow the guidance set out in this impact assessment report.

A heritage conservation consultant should be appointed to the project team during the design and construction stage to ensure that the impact assessment and mitigations can be executed appropriately and effectively. The obligations for protection measures should be supplied to the contractor as part of the contract documents. During the construction stage, the heritage consultant should monitor the contractor's compliance with the provisions of this impact assessment report. Should there be any material change to the design plans in the future that alters the degree or likelihood of impact, the assessment and recommendations in this report should be reviewed and updated if appropriate. Alternatively, a Conservation Management Plan (CMP) would conveniently provide a single point of reference that could address all aspects of heritage management and remain current throughout the design and construction phases, taking account of design changes, and into the foreseeable future. In the event a CMP is commissioned, it should be the document that any future revision of this impact assessment should refer to and be based on.

Prior to any construction works on site, as a supplement to the character-defining elements schedule, each building should have a catalogue in the form of a heritage inventory or a schedule of artefacts for all loose or movable items. The record should remain live throughout the works, and be updated as new items are uncovered.

10.2 General

The former Bukit Timah Racecourse should be managed to best sustain and, where feasible, enhance its significance. The report has concluded that change is the inevitable consequence of the demise of horse racing at Bukit Timah Racecourse and that change is necessary to ensure the site's long-term viability.

The project proponents have a key role to play to ensure that the future design is developed having regard to the guidelines in this impact assessment. This will require scrutiny of the project scope and a further impact assessment to capture the redevelopment plan as a whole, including proposals for the future uses for the retained heritage assets. It is recommended that a CMP for the site is prepared to establish a more comprehensive understanding of the sites history, development and significance. A conservation framework should be established to manage future change sensitively and avoid material harm. The CMP can be a useful tool to manage change in the upcoming redevelopment projects as well as the long-term management and maintenance of the retained heritage buildings, structures, and open spaces. The emerging proposals and new construction should be respectful of the sites unique context, whilst also achieving a high standard and quality of design and execution.

In this concluding chapter, recommendations for heritage management are described.

10.3 Overall Management Policy

There are seven key overall management policies outlined as below:

1. The management of the former Bukit Timah Racecourse should be guided by its cultural significance and its interpretation strategy.
2. A Conservation Architect/ Heritage consultant should be appointed by the main contractor at the design and construction stages to ensure the conservation policies (mitigation measures) in the impact assessment are properly executed and complied with.
3. This current heritage research study is only an overview of the site and the buildings, structures and spaces contained within. The CDE schedule in Chapter 6.0 shall be periodically updated as and when any further historical research and/or field study is completed. This is particularly relevant for the individual buildings ¹ where access to them was limited during the rapid survey, as well as there being no opening up and/or detailed investigations.
4. The identified CDEs with positive contributions to the heritage values should be retained/ reinstated and properly repaired as far as possible. The built fabric should be made good following conservation best practice and on a like-for-like basis;
5. Engage highly skilled consultants with experience of introducing new design into heritage contexts.
6. Any changes, new uses and alteration to built fabric, should in no way compromise the cultural significance of the Site and those buildings, structures and open spaces that will be retained.
7. The former Bukit Timah Racecourse site is of heritage interest, and any proposed works should not occur without prior consultation with the relevant authorities, and appointed heritage conservation professionals.

10.4 Impacts on the Historic Buildings and Site after the Occupation

The following potential impacts that may affect the historic fabric of buildings should be monitored after it is occupied and opened to the public:

- i. Additional visitor facilities in public areas
- ii. Vandalism by the public
- iii. Upgrading by tenants
- iv. Littering and garbage disposal
- v. Vehicular access and parking
- vi. E-scooters and personal mobility devices

¹ These include Building No. 3, 4, 5, 6, 7, 8, 9, 10, 11.1, 11.2, 13, 16.2, 17, 18.1 (building vacant and no access), 20, and T5.

10.5 Managing Changes

It is recommended that management strategies are developed to maintain the significance of the former Bukit Timah Racecourse site, which recognises opportunities to reveal or reinforce its heritage values.

For those historic buildings that are retained, proper maintenance of them is an essential part of the conservation process, which should be commenced as soon as possible if not already in progress. Buildings that are empty are particularly vulnerable to degradation, especially in a sub-tropical climate such as in Singapore, most notably timber and reinforced concrete elements. A maintenance schedule should be developed and reviewed annually by building management and heritage conservation professionals.

A maintenance schedule should include the following:

- Regular inspection of the condition of all character-defining elements (see section 6.2);
- Regular inspection of internal and external finishes and fittings;
- Regular cleaning of drainage and plumbing system; and
- Regular checking of the site drainage system, above- and below-ground.

The maintenance management plan should be reviewed annually by management and heritage conservation professionals with a thorough understanding of managing a heritage site to ensure the execution of a proper maintenance programme. A maintenance manual with repairing method of identified conservation items and schedule of building materials should be provided to the future frontline maintenance staff. All repair works should be carried out to respect the existing materials, colour, texture and craftsmanship of the historic fabrics for authenticity and maximum compatibility. Unsympathetic replacements should be avoided except the historical fabrics are beyond repair.

10.5.1 Before commencement of works

The following requirements only applies to those buildings, structures, and open spaces within the study area. These tasks should be carried out by a heritage conservation consultant and structural/ geotechnical/ civil engineer as appropriate.

- Conduct a general 'building condition survey', including structural investigations on each retained historic buildings and structures;
- Carry out detailed surveys on the existing condition of each character-defining elements and other significant elements;
- Prepare photographic and cartographic records for all existing buildings, structures and open spaces on the former Bukit Timah Racecourse site;
- Prepare a heritage inventory or schedule of artefacts for all loose and movable items if any, in all buildings at the former Bukit Timah Racecourse site
- Commission a series of enabling works on the retained heritage buildings. This would include a programme of materials testing i.e. asbestos survey, paint analysis, timber species identification and mortar analysis. The output from an enabling works programme offers invaluable assistance in the decision-making process when preparing detailed proposals for these buildings, and helps mitigate risk; and
- Conduct surveys of the site for seismic shifts and soil movements.
- *Design temporary protection works (if deemed necessary) and prepare a structural monitoring proposal for the affected historic buildings and structures.*

10.5.2 During construction works

- Protective measures for the site surroundings (including around individual buildings) should be provided such as hoardings, fencing, scaffolding, tarpaulins, and temporary lighting. This is to protect the historic fabric, which should be in place before the commencement of works. These protective measures should be the subject of a protection plan, which should be prepared by the contractor and made subject to approval by the heritage conservation consultant; and
- Site notices and emergency procedures and guidelines should be displayed in visible locations within the work site.

Provide specifications and drawings

- Non-technical descriptions of the scope of work, detailed specifications, design drawings and schedules of the works and required quality standards shall be incorporated into the contract documents; and
- Requirements or standards of works that may affect the historic buildings should be incorporated into the contract documents. This includes but is not limited to the protection works, mitigation measures applying to character-defining elements, and including the listing of elements to be salvaged from buildings that are to be demolished.

Site supervision and documentation

- Periodic and regular site inspection and monitoring by heritage conservation consultants should be carried out throughout the construction works to ensure the historic fabric is protected in accordance with the requirements outlined in the specifications. The frequency and level of inspection should be increased during critical stages when potential threats are greatest. The inspection staff should be independent of the building contractor. A resident project technical officer and clerk of work with heritage conservation background is necessary;
- Documentation of the conservation process during the works is necessary, including site progress photos, record drawings, minutes of meetings and textual records shall be adequately documented. This is important to record the conservation history and is essential to understand the authenticity of the building fabric and help to identify between historic fabrics and new works. Progress photos shall be taken at least bi-weekly or a frequency that fits the site progress meetings and to be incorporated in the site progress reports;
- All issues concerning the heritage conservation works on site shall be reported to the appointed heritage conservation consultant; and
- Continuous monitoring of the land for ground movement and soil movements shall be carried out and documented in site progress reports.

10.5.3 After completion of the works

Control of physical intervention

- Photographic and cartographic records shall be prepared after completion of the works in the form of an 'As built' record;
- The condition surveys for character-defining elements and other significant elements shall be updated in the form of an 'As built' record, this includes those which may have been newly identified during the works;
- Finalise the heritage inventory or schedule of artefacts for all loose and movable items if any, for all buildings at the former Bukit Timah Racecourse site;
- The development operator with the advice from the appointed heritage conservation consultant shall prepare an 'operation and maintenance manual' and 'tenancy guidelines' to guide the development operator and individual tenants to use the historic buildings and the site, clearly defining the areas which are maintained by the operator and the areas maintained by the tenants. The manual shall clearly define the works which are allowed and not allowed inside the tenant units and common areas;
- The manual and guidelines shall list out the building fabrics which are not allowed to be altered, including all the character-defining elements as listed in this report. It shall be in a format with photos and locations marked; and
- Any proposed physical intervention, including repairs, shall be based on this report principles of good heritage conservation practice, including minimal intervention, reversibility, and authenticity, particularly to the character-defining elements. This is important when deciding modification or alteration for future needs.

Identify major and minor interventions

- The manual and guidelines shall clearly define any proposed future intervention works as large scale 'major' interventions and 'minor' interventions for on-going management;
- Major interventions are those that would alter significant building fabrics and the character-defining elements, including the external elevations, building scale, and the change of the building use;
- Minor interventions are those that would alter the building fabric of low heritage significance;
- Intervention to elements with no heritage value is not considered to be of heritage management activity, provided that the proposed works would not affect the integrity of the heritage place;
- For significant renovation works or works involving major interventions, new conservation management guidelines shall update the existing conservation management guidelines, and a conservation specialist shall be consulted, assess the impacts of the proposed works according to internationally accepted heritage conservation principles and practices. All works shall be well-documented; and
- The frequency of review of the conservation management guidelines shall be once a year or based on the future conditions to be advised by the conservation specialist.

Documentation for all works carried out

- All works including both major works and routine repair works shall be well documented for the on-going recording of the historic fabric, which is vital to establish a clear record for the conservation history on repairs, conservation, restoration, development, or other actions affecting the building and the site in the future.

10.5.4 Routine management and maintenance

Prepare and implement a management and maintenance plan to maintain the retained historic buildings and structures. This should comprise a list of routine maintenance tasks for a site maintenance team to undertake. For example:

- General cleaning works;
- Regular inspections and clearance of any blocked drains; and
- Checking the conditions and safeguarding of character-defining elements.
- The 'operation and maintenance manual' and 'tenancy guidelines' shall be kept at the management office and made available to the building management, site operation staff, technicians and workmen who are responsible for supervising and carrying out routine maintenance and repair works, including the tenants using the historic place, and reviewed annually; and
- The required information shall be summarised and documented in a simple and understandable format.

10.5.5 Adoption, monitoring and review

- Constant review, update and revision of the 'operation and maintenance manual' and 'tenancy guidelines' when circumstances change to ensure management policies are effectively implemented in the future; and
- The frequency of review of the 'operation and maintenance manual' shall be at least once a year or based on the changing conditions to be advised by the heritage conservation consultant.

10.6 Suggestions for the “Operation and Maintenance Manual” and “Tenancy Guidelines”

10.6.1 Care to the historic fabric

- Demarcate on floor plans to indicate the area under the management of the main operator and the areas under tenant’s management;
- ‘Do and Don’ts’ list for the tenant units shall be prepared, which could be extracted from the conservation guidelines in this report. This could be included but not limited to the following:
 - Don’t – enlarge existing openings or make new openings on the walls
 - Don’t – change the elevations by adding permanent structures; and
 - New signages for each retained historic building shall be controlled which may affect building elevations. Signage guidelines shall be prepared by the building operator to demarcate the areas which allow designs by the future tenants.

10.6.2 Public visitation and enjoyment

As the site will be opened to the public, interpretation strategies (see Chapter 8.0) shall be established to encourage the public to re-visit the site:

- Public activities, events, exhibitions, etc. shall be organised and promoted; and
- Tours around the retained historic buildings may be organised and managed to increase awareness and enhance the vitality of the site and an appreciation of its heritage values.

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